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VOLUME 09727 FOLIO 747

Security no : 124082463364M
Produced 04/04/2020 10:55 AM

LAND DESCRIPTION

Lot 1 on Title Plan 135565H.
PARENT TITLE Volume 04633 Folio 573
Created by instrument M552299X 07/11/1986

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
BR 224 PTY LTD of 28 MOUNT PLEASANT DRIVE MOUNT WAVERLEY VIC 3149
AN763317C 21/04/2017

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AN763318A 21/04/2017
NATIONAL AUSTRALIA BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP135565H FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 224 KENILWORTH AVENUE BEACONSFIELD VIC 3807

ADMINISTRATIVE NOTICES

NIL

eCT Control 00009E NATIONAL AUSTRALIA BANK
Effective from 21/04/2017

DOCUMENT END



Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Victorian Land Registry Services.

Document Type	plan
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Number of Pages (excluding this cover sheet)	1
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The document is invalid if this cover sheet is removed or altered.

TITLE PLAN	EDITION 1	TP 135565H						
Location of Land Parish PAKENHAM Township Section Crown Allotment Crown Portion 31 (PT)		Notations ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN						
Last Plan Reference LP2963 Derived From VOL 9727 FOL 747 Depth Limitation NIL								
Description of Land / Easement Information		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED 08/09/1999 VERIFIED PJ						
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2" style="text-align: center;">TABLE OF PARCEL IDENTIFIERS</th> </tr> <tr> <td colspan="2" style="font-size: small;">WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962</td> </tr> <tr> <td colspan="2" style="font-size: small;">PARCEL 1 = LOT 30 BLOCK B ON LP2963</td> </tr> </table>			TABLE OF PARCEL IDENTIFIERS		WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962		PARCEL 1 = LOT 30 BLOCK B ON LP2963	
TABLE OF PARCEL IDENTIFIERS								
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962								
PARCEL 1 = LOT 30 BLOCK B ON LP2963								
LENGTHS ARE IN METRES	Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 1 sheets						



Contact Name Brett McKenzie
Telephone 03 9628 0049
Facsimile 03 9628 6853
Your Ref: 36558560-012-1

8 April 2020

Jose Fernandez
c/- Landata
GPO Box 527
MELBOURNE VIC 3001

Dear Sir/Madam,

Growth Areas Infrastructure Contribution (GAIC)

224 Kenilworth Avenue, Beaconsfield (Volume 9727 Folio 747) - (the land)

Thank you for your Application for a Growth Areas Infrastructure Contribution (GAIC) Certificate dated 4 April 2020 in respect of the land.

GAIC applies to certain land in excess of 0.41 hectares (1 acre) in the contribution area as defined by Section 201RC of the *Planning and Environment Act 1987* (PEA). Only certain lands in the designated growth area municipalities of Cardinia, Casey, Hume, Melton, Mitchell, Whittlesea and Wyndham may be subject to GAIC.

The Commissioner of State Revenue is satisfied that the land is not subject to GAIC as defined in the PEA at this time.

Applications for GAIC certificates may be made, at no charge, via the State Revenue Office (SRO) website at www.sro.vic.gov.au

For further details regarding GAIC, please visit the SRO website or telephone 03 9628 0049.

Yours sincerely

A handwritten signature in black ink, appearing to read "Brett McKenzie".

Brett McKenzie
Customer Service Officer
Land Revenue



**** Delivered by the LANDATA[®] System, Department of Environment, Land, Water & Planning ****

ROADS PROPERTY CERTIFICATE

The search results are as follows:

Jose Fernandez
635 Waverley Road
GLEN WAVERLEY 3150

Client Reference: Bannir

NO PROPOSALS. As at the 4th April 2020, VicRoads has no approved proposals requiring any part of the property described in your application. You are advised to check your local Council planning scheme regarding land use zoning of the property and surrounding area.

This certificate was prepared solely on the basis of the Applicant-supplied address described below, and electronically delivered by LANDATA[®].

224 KENILWORTH AVENUE, BEACONSFIELD 3807
SHIRE OF CARDINIA

This certificate is issued in respect of a property identified above. VicRoads expressly disclaim liability for any loss or damage incurred by any person as a result of the Applicant incorrectly identifying the property concerned.

Date of issue: 4th April 2020

Telephone enquiries regarding content of certificate: 13 11 71

[Vicroads Certificate] # 36558560 - 36558560105501 'Bannir'



CERTIFICATE

Pursuant to Section 58 of the *Heritage Act 2017*

Jose Fernandez

CERTIFICATE NO:
36558560

PROPERTY ADDRESS:
224 KENILWORTH AVENUE BEACONSFIELD

PARCEL DESCRIPTION:
Lot 1 TP135565H

1. The place or object is not included in the Heritage Register.
2. The place is not in a World Heritage Environs Area.
3. The place or object is not subject to an interim protection order.
4. A nomination has not been made for inclusion of the place or object in the Heritage Register.
5. The place or object is not being considered for inclusion in the Heritage Register.
6. The site is not included in the Heritage Inventory.
7. A repair order is not in force in respect of the place or object.
8. There is not an order of the Supreme Court under Division 3 of Part 10 in force in respect of the place or object.
9. There is not a Governor in Council declaration made under section 227 in force against the owner of the place or object.
10. There is not a court order made under section 229 in force against a person in respect of the place or object.
11. There are no current proceedings for a contravention of this Act in respect of the place or object.
12. There has not been a rectification order issued in respect of the place or object.

Ainsley Thompson

Heritage Officer (Registry)

(as delegate for Steven Avery, Executive Director, Heritage Victoria, pursuant to the instrument of delegation)

DATED: 7 April 2020

Note: This Certificate is valid at the date of issue.

LAND INFORMATION CERTIFICATE
SECTION 229 LOCAL GOVERNMENT ACT 1989
LAND INFORMATION CERTIFICATE
REGULATIONS 1992



Landata Counter Services
DX 250639
Melbourne

CERTIFICATE NO: 59408
APPLICANT REFERENCE: 36559560 015 2
DATE: 7-04-2020

This certificate PROVIDES information regarding valuations, rates, charges, other moneys owing and any orders and notices made under the Local Government Act 1958, Local Government Act 1989 or under a local law or by law of the Council.

This certificate IS NOT REQUIRED to include information regarding planning, building, health, land fill, land slip, other flooding information or service easements. Information regarding these matters may be available from Council or the relevant Authority. A fee may be charged for such information.

ASSESSMENT NO: 1446452000	VALUATIONS	
PROPERTY LOCATION: 224 Kenilworth Ave	SITE VALUE:	3715000
Beaconsfield 3307	CAPITAL IMPROVED VALUE:	3715000
TITLE DETAILS: L1 TP135565	NET ANNUAL VALUE:	185750
	LEVEL OF VALUE DATE:	01/01/19
	OPERATIVE DATE:	01/07/19

PROPERTY RATES & CHARGES

Rates and charges for the financial year ending 30 June 2020

<u>RATES & CHARGES</u>	<u>LEVIED</u>	<u>BALANCE</u>
ARREARS BROUGHT FORWARD		\$3,201.80
RATES	\$10,940.68	\$10,940.68
INTEREST	\$0.00	\$0.00
MUNICIPAL CHARGE	\$0.00	\$0.00
FIRE SERVICES PROPERTY LEVY	\$356.19	\$356.19
GARBAGE	\$283.70	\$283.70
GREEN WASTE LEVY	\$0.00	\$0.00

SPECIAL RATES/SPECIAL CHARGES

<u>SCHEME NAME</u>	<u>ESTIMATED AMOUNT</u>	<u>PRINCIPAL BALANCE</u>	<u>INTEREST BALANCE</u>
		TOTAL SCHEME BALANCE	\$0.00

OPEN SPACE CONTRIBUTION

TOTAL OUTSTANDING **\$14,782.37**



Billor code:	858944
Reference:	14464520007

LAND INFORMATION CERTIFICATE
SECTION 229 LOCAL GOVERNMENT ACT 1989
LAND INFORMATION CERTIFICATE
REGULATIONS 1992

224 Ironkworth Ave
Beaconsfield
L1 TP135565

NOTICES AND ORDERS

Other Notices or Orders on the land that have been served by Council under the Local Government Act 1958, Local Government Act 1989 or Local Law of the Council, which have a continuing application as at the date of this certificate if any

OPEN SPACE CONTRIBUTION

Any outstanding amount required to be paid for recreational purposes or any transfer of land required to Council for recreational purposes under Section 18 of the Subdivision of Land Act 1988 or the Local Government Act 1958

FLOOD LEVEL

A flood level has not been designated under the Building Regulations 1994.
Advice on whether a flood level has been determined, which affects the property, should be sought from Melbourne Water

POTENTIAL LIABILITIES


Notices and Orders issued as described above

Other

ADDITIONAL INFORMATION

In accordance with Section 175 of the Local Government Act a person who becomes the owner of rateable land must pay any rate or charge on the land which is due and payable at the time the person becomes the owner of the land

I do hereby acknowledge having received the sum of \$27 00 being the fee for this certificate

Delegated Officer: 

CONFIRMATION OF ANY VARIATION TO THIS CERTIFICATE WILL ONLY BE GIVEN FOR 90 DAYS AFTER ISSUE DATE.
PAYMENTS MADE BY CHEQUE ARE SUBJECT TO CLEARANCE FROM THE BANK.

7 April 2020

Property number: 1446452000
Our reference: INC2038773
Your reference: 36558560-016-9



Jose Fernandez c/- Landata

PROPERTY INFORMATION REQUEST (51(1)) - FORM 10

Land (property) located at: Lot 1 (224) Kenilworth Avenue, Beaconsfield, Vic. 3807

In reply to your recent enquiry, I wish to advise that a search of our building records for the preceding ten (10) years reveals the following: -

Details of Building Permits and Certificate of Occupancy or Final Inspection:

Building Permit No.	Issue Date	Building Works	Final/OP Date
BS-U1082/2017/14999/0	21/08/2017	Demolition of existing dwelling	No record

Please note that Council is unaware of any current statement(s) issued under regulation 64 or 231 of the Building Regulations 2018.

Outstanding building related orders or Notices pertaining to the Building Act 1993: -

Type	Issue Date	Details
NIL		

The property: Is the building or land in an area:

- That is liable to flooding (Reg. 153)? NO*
- That is a likely to be subject to termite attack (Reg. 150)? YES
- For which BAL level has been specified in a planning scheme? NO**
- That is subject to significant snowfalls (Reg. 152)? NO
- Of designated land or works (Reg. 154)? NO

*NOTE: Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 50 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

** NOTE: BAL='Bushfire Attack Level', BAL's may also be provided as restrictions on title/subdivision and shall be complied with. Refer to 'Land Channel' website for information relating to regulation 155 (designated state bushfire prone areas) <http://services.land.vic.gov.au/maps/bushfire.jsp>

Note:

This summary is an extract of Council's records only made at the date the information is provided. The information provided does not guarantee the current status of the building. An inspection has not been specifically conducted as a result of your enquiry. The reply provided has been prepared as accurately as possible as at the date of the reply, from information currently available to Council. Council accepts no liability for any omissions or errors contained in the information supplied. Where any doubt or concern is raised professional advice should be sought.

Any existing swimming pool/spa with a depth of over 300mm is required to be provided with suitable barriers to restrict young children from gaining access.

Please contact Councils building department without delay should an appropriate pool barrier not be in place, or should smoke alarms not be installed within a residential property.

Yours sincerely,

Donna Auhl
Development and Compliance Services

7 April 2020

Property number: 1446452000
Our reference: INC2038772
Your reference: 36558560-017-6



Jose Fernandez c/- Landata

PROPERTY INFORMATION REQUEST (51(2))

Land (property) located at: Lot 1 (224) Kenilworth Avenue, Beaconsfield, Vic, 3807
Proposed development: Residential – not disclosed

BUILDING UNIT Is the building or land in an area:

- | | |
|--|-------|
| - That is liable to flooding (Reg. 153)? | NO* |
| - That is a likely to be subject to termite attack (Reg. 150)? | YES |
| - For which BAL level has been specified in a planning scheme? | NO ** |
| - That is subject to significant snowfalls (Reg. 152)? | NO |
| - Of designated land or works (Reg. 154)? | NO |

***NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 50 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

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PLANNING UNIT

For planning information please complete the planning information request located on our website https://www.cardinia.vic.gov.au/info/20005/planning_and_building/432/ and pay the associated fee.

COMMUNITY INFRASTRUCTURE LEVY

'Community Infrastructure' levies are financial contributions made by landowners towards locally provided infrastructure that is required to meet the future needs of the community. Community Infrastructure Levy is applicable to new dwellings constructed in Pakenham, Officer and some areas of Beaconsfield.

Is the property subject to the Community Infrastructure Levy (payable by owner)? **YES**

Please note that a Community Infrastructure Levy (CIL) of **\$1190.00 per new dwelling** must be paid and a copy of the receipt forwarded to the 'relevant building surveyor' prior to the issue of a Building Permit. Please ensure that payment is made after the formal release of the land.

Note: Community Infrastructure Levy fee quoted is a guide only and may be subject to change without notice.

Payment of the CIL can be made in any of the following ways:

- to your private building surveyor or builder
- in person at the Cardinia Shire Council Civic Centre
- Credit card over the phone: 1300 787 624
- mail (please make cheques payable to Cardinia Shire Council): PO Box 7, Pakenham, Victoria 3810.

ASSET PROTECTION UNIT

The asset protection permit application fee and bond must both be paid and your permit issued **before works start**. Please refer to our website for further details: <https://www.cardinia.vic.gov.au/assetprotection>

Yours sincerely

Donna Auhl
Development and Compliance Services

Cardinia Shire Council
ABN: 32 210 906 807
20 Siding Avenue, Officer

PO Box 7
Pakenham 3810
(DX 81006)

Phone: 1300 787 624
Email: mail@cardinia.vic.gov.au
Web: www.cardinia.vic.gov.au



INVESTORS
IN PEOPLE | Gold



CERTIFICATE

Pursuant to Section 58 of the *Heritage Act 2017*

Jose Fernandez

CERTIFICATE NO:
36558560

PROPERTY ADDRESS:
224 KENILWORTH AVENUE BEACONSFIELD

PARCEL DESCRIPTION:
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Ainsley Thompson
Heritage Officer (Registry)

(as delegate for Steven Avery, Executive Director, Heritage Victoria, pursuant to the instrument of delegation)

DATED: 7 April 2020

Note: This Certificate is valid at the date of issue

7 April 2020

Property number: 1446452000
Our reference: INC2038773
Your reference: 36558560-016-9



Jose Fernandez c/- Landata

PROPERTY INFORMATION REQUEST (51(1)) - FORM 10

Land (property) located at: Lot 1 (224) Kenilworth Avenue, Beaconsfield, Vic. 3807

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Type	Issue Date	Details
NIL		

The property: Is the building or land in an area:

- That is liable to flooding (Reg. 153)? NO*
- That is likely to be subject to termite attack (Reg. 150)? YES
- For which BAL level has been specified in a planning scheme? NO**
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***NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 50 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

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Yours sincerely,

Donna Auhl
Development and Compliance Services

7 April 2020

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Our reference: INC2038772
Your reference: 36558560-017-6



Jose Fernandez c/- Landata

PROPERTY INFORMATION REQUEST (51(2))

Land (property) located at: Lot 1 (224) Kenilworth Avenue, Beaconsfield, Vic, 3807
Proposed development: Residential – not disclosed

BUILDING UNIT Is the building or land in an area:

- | | |
|--|-------|
| - That is liable to flooding (Reg. 153)? | NO* |
| - That is likely to be subject to termite attack (Reg. 150)? | YES |
| - For which BAL level has been specified in a planning scheme? | NO ** |
| - That is subject to significant snowfalls (Reg. 152)? | NO |
| - Of designated land or works (Reg. 154)? | NO |

***NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 50 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

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ASSET PROTECTION UNIT

The asset protection permit application fee and bond must both be paid and your permit issued before works start. Please refer to our website for further details: <https://www.cardinia.vic.gov.au/assetprotection>

Yours sincerely

Donna Auhl

Development and Compliance Services

Cardinia Shire Council
ABN: 32 210 906 807
20 Siding Avenue, Officer

PO Box 7
Pakenham 3810
(DX 81006)

Phone: 1300 787 624
Email: mail@cardinia.vic.gov.au
Web: www.cardinia.vic.gov.au



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PLANNING CERTIFICATE

Official certificate issued under Section 199 Planning & Environment Act 1987
and the Planning and Environment Regulations 2005

CERTIFICATE REFERENCE NUMBER

653091

APPLICANT'S NAME & ADDRESS

JOSE FERNANDEZ C/- LANDATA
MELBOURNE

VENDOR

BR 224 PTY LTD

PURCHASER

REFERENCE

Bannir

This certificate is issued for:

LOT 1 PLAN TP135565 ALSO KNOWN AS 224 KENILWORTH AVENUE BEACONSFIELD
CARDINIA SHIRE

The land is covered by the:

CARDINIA PLANNING SCHEME

The Minister for Planning is the responsible authority issuing the Certificate.

The land:

- is included in a URBAN GROWTH ZONE - SCHEDULE 3
- is within a DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 4

A detailed definition of the applicable Planning Scheme is available at :
(<http://planningschemes.dpcd.vic.gov.au/schemes/cardinia>)

Historic buildings and land protected under the Heritage Act 1995 are recorded in the Victorian Heritage Register at:
(<http://vhd.heritage.vic.gov.au/>)

Additional site-specific controls may apply.
The Planning Scheme Ordinance should be checked carefully.

The above information includes all amendments to planning scheme maps placed on public exhibition up to the date of issue of this certificate and which are still the subject of active consideration

Copies of Planning Schemes and Amendments can be inspected at the relevant municipal offices.

LANDATA@
2 Lonsdale Street
Melbourne VIC 3000
Tel: (03) 9194 0606

04 April 2020

Hon. Richard Wynne MP
Minister for Planning

The attached certificate is issued by the Minister for Planning of the State of Victoria and is protected by statute.

The document has been issued based on the property information you provided. You should check the map below - it highlights the property identified from your information.

If this property is different to the one expected, you can phone (03) 9194 0606 or email landata.enquiries@delwp.vic.gov.au.

Please note: The map is for reference purposes only and does not form part of the certificate.



Choose the authoritative Planning Certificate

Why rely on anything less?

As part of your section 32 statement, the authoritative Planning Certificate provides you and / or your customer with the statutory protection of the State of Victoria.

Order online before 4pm to receive your authoritative Planning Certificate the same day, in most cases within the hour. Next business day delivery, if further information is required from you.

Privacy Statement

The information obtained from the applicant and used to produce this certificate was collected solely for the purpose of producing this certificate. The personal information on the certificate has been provided by the applicant and has not been verified by LANDATA®. The property information on the certificate has been verified by LANDATA®. The zoning information on the certificate is protected by statute. The information on the certificate will be retained by LANDATA® for auditing purposes and will not be released to any third party except as required by law.



PLANNING PROPERTY REPORT

From: www.planning.vic.gov.au on 04 April 2020 11:04 AM

PROPERTY DETAILS

Address: 224 KENILWORTH AVENUE BEACONSFIELD 3807
 Lot and Plan Number: Lot 1 TP135565
 Standard Parcel Identifier (SPI): 1\TP135565
 Local Government Area (Council): CARDINIA www.cardinia.vic.gov.au
 Council Property Number: 1446452000
 Planning Scheme: Cardinia planning-schemes.delwp.vic.gov.au/schemes/cardinia
 Directory Reference: Melway 214 C4

UTILITIES

Rural Water Corporation: Southern Rural Water
 Melbourne Water Retailer: South East Water
 Melbourne Water: inside drainage boundary
 Power Distributor: AUSNET

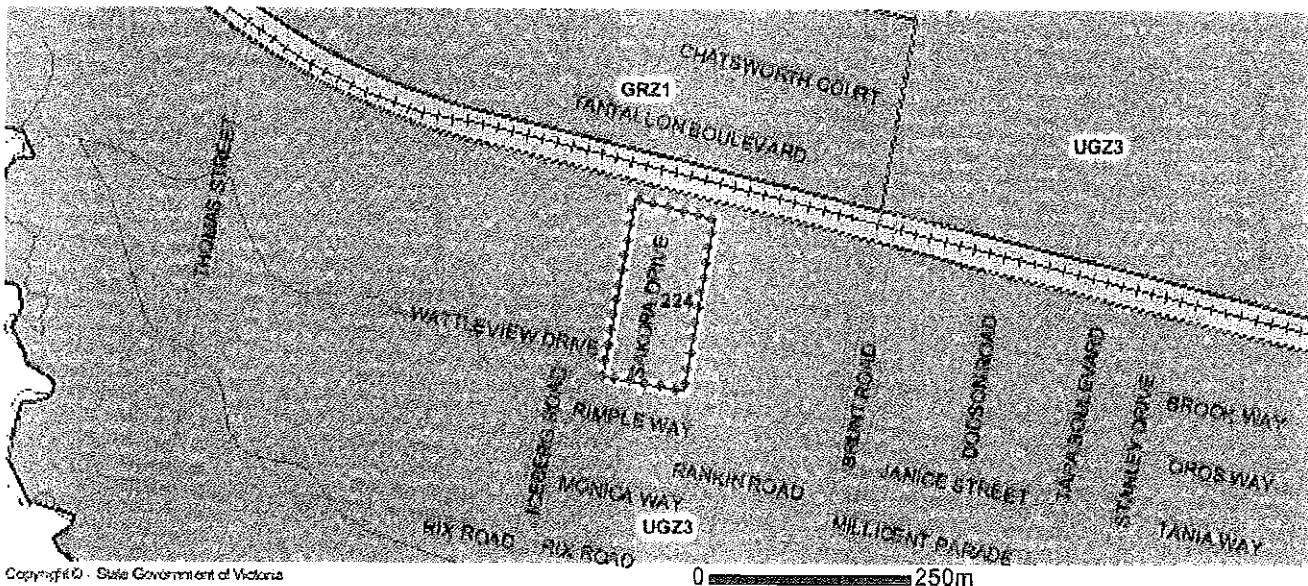
STATE ELECTORATES

Legislative Council: EASTERN VICTORIA
 Legislative Assembly: GEMBROOK

Planning Zones

URBAN GROWTH ZONE (UGZ)

URBAN GROWTH ZONE - SCHEDULE 3 (UGZ3)



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- | | | |
|--------------------------|---------------------------|-------------------------------|
| FZ - Farming | GRZ - General Residential | PUZ4 - Public Use - Transport |
| RDZ1 - Road - Category 1 | UGZ - Urban Growth | |

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend

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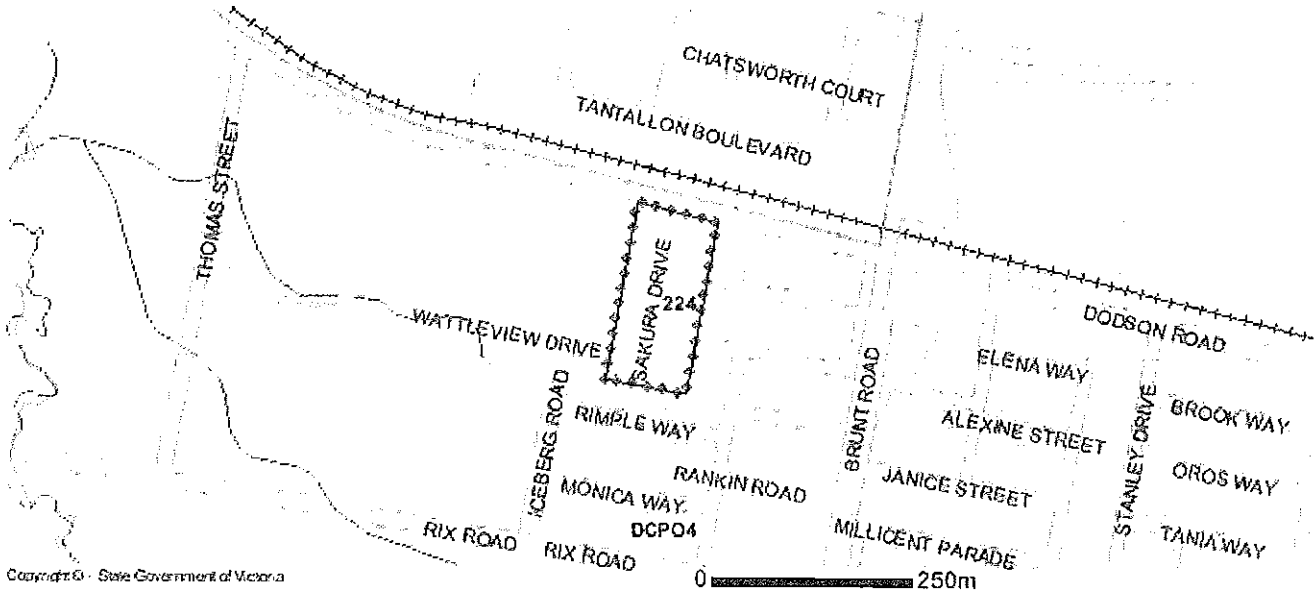
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Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic)


Planning Overlay

DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY (DCPO)

DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 4 (DCPO4)



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 DCPO - Development Contributions Plan

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

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Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic)

Planning Overlays

OTHER OVERLAYS

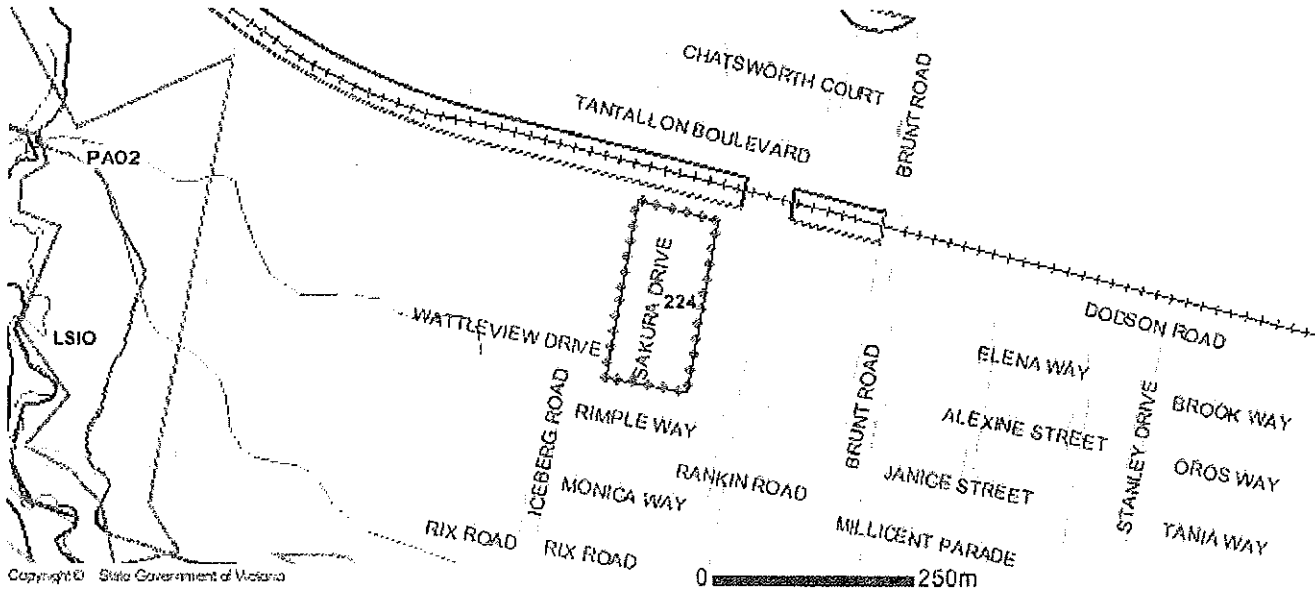
Other overlays in the vicinity not directly affecting this land

ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)

LAND SUBJECT TO INUNDATION OVERLAY (LSIO)

PUBLIC ACQUISITION OVERLAY (PAO)

SPECIFIC CONTROLS OVERLAY (SCO)



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- ESO - Environmental Significance
- LSIO - Land Subject to Inundation
- PAO - Public Acquisition
- SCO - Specific Controls

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

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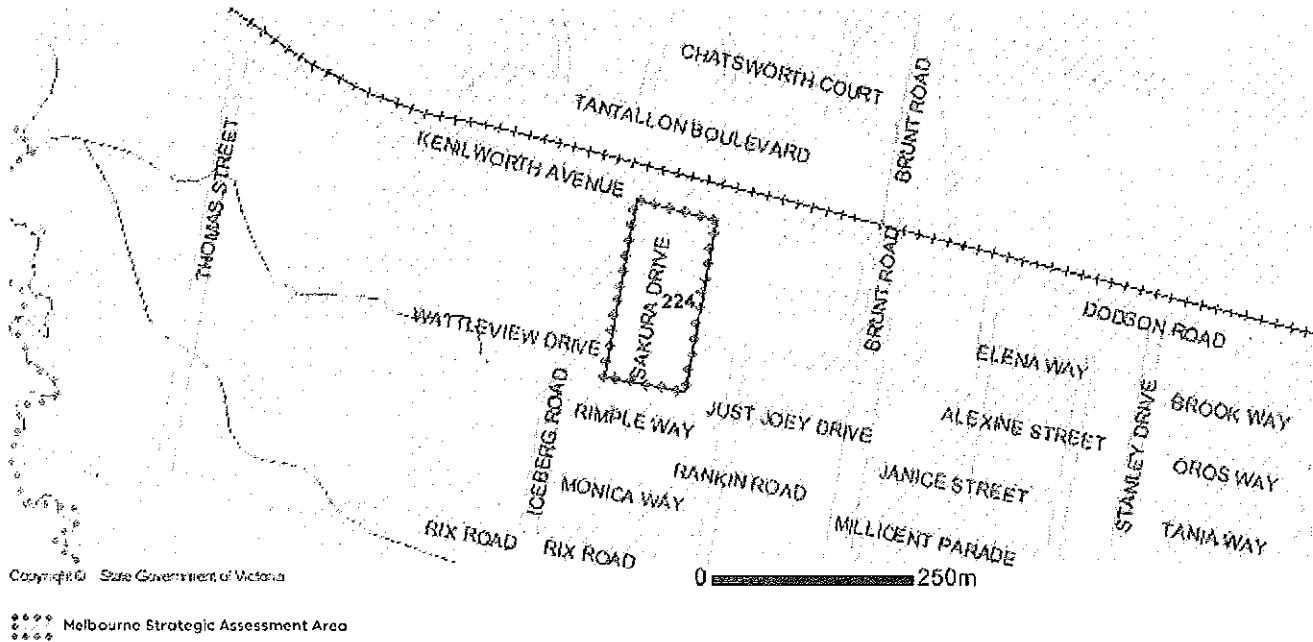
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Melbourne Strategic Assessment

The property may be located within the Melbourne Strategic Assessment program area. Actions associated with urban development are subject to requirements of the Commonwealth Environment Protection and Biodiversity Conservation Act 1999. Follow the link for more details: <https://nvim.delwp.vic.gov.au/BCS>



Further Planning Information

Planning scheme data last updated on 1 April 2020

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the *Planning and Environment Act 1987*. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest

To view planning zones, overlay and heritage information in an interactive format visit <http://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

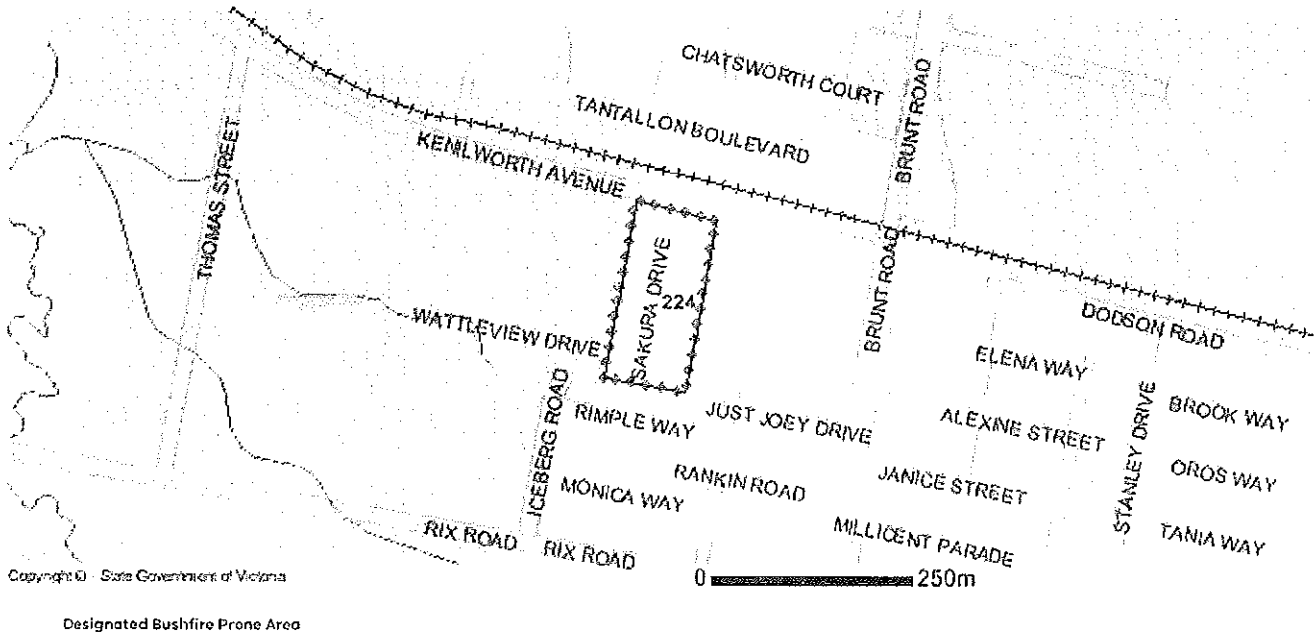
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Designated Bushfire Prone Area

This property is not in a designated bushfire prone area.
No special bushfire construction requirements apply. Planning provisions may apply.



Designated bushfire prone areas as determined by the Minister for Planning are in effect from 8 September 2011 and amended from time to time

The Building Regulations 2018 through application of the Building Code of Australia, apply bushfire protection standards for building works in designated bushfire prone areas

Designated bushfire prone areas maps can be viewed on VicPlan at <http://mapshare.maps.vic.gov.au/vicplan> or at the relevant local council

Note: prior to 8 September 2011, the whole of Victoria was designated as bushfire prone area for the purposes of the building control system

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website www.vba.vic.gov.au

Copies of the Building Act and Building Regulations are available from www.legislation.vic.gov.au

For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>



INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

Jose Fernandez
E-mail: certificates@landata.vic.gov.au

Statement for property
LOT 1 224 KENILWORTH AVENUE
BEACONSFIELD 3807
1 TP 135565

REFERENCE NO	YOUR REFERENCE	DATE OF ISSUE	CASE NUMBER
62A/19126/13	LANDATA CER 36558560-027-5	06 APR 2020	36106741

1. Statement of Fees Imposed

The property is classified as a serviced property with respect to charges which as listed below in the Statement of Fees.

Melbourne Water Corporation Total Service Charges	01/04/2020 to 30/06/2020	\$25.52
Subtotal Service Charges		\$25.52
Arrears		\$76.50
TOTAL UNPAID BALANCE		\$102.02

- Financial Updates (free service) are only available online please go to (type / copy the complete address shown below): <https://secureapp.southeastwater.com.au/PropertyConnect#/order/info/update>

* Please Note: if usage charges appear above, the amount shown includes one or more of the following:

Water Usage, Recycled Water Usage, Sewage Disposal, Fire Service Usage and Trade Waste Volumetric Fees.

Interest may accrue on the South East Water charges listed in this statement if they are not paid by the due date as set out in the bill.

- The total annual service fees and volumetric fees for water usage and sewerage disposal for each class of property are set out at www.southeastwater.com.au.
- Updates of rates and other charges will only be provided for up to six months from the date of this statement.
- If this property has recently been subdivided from a "parent" title, there may be service or other charges owing on the "parent" which will be charged to this property, once sold, that do not appear on this statement. You must contact us to see if there are any such charges as they may be charged to this property on sale and should therefore be adjusted with the owner of the parent title beforehand.

AUTHORISED OFFICER

TERRY SCHUBACH
GENERAL MANAGER
CUSTOMER SERVICE DELIVERY

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198



INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

- If the property is sold, the vendor is liable to pay all fees incurred in relation to the property until the vendor gives South East Water a Notice of Disposition of Land required by the Water (Disposition of Land) Regulations 2010. Please include the Reference Number set out above in that Notice.
- Fees relating to the property may change from year-to-year in accordance with the Essential Service Commission's Price Determination for South East Water.
- Every fee referred to above is a charge against the property and will be recovered from a purchaser of the property if it is not paid by the vendor.
- Information about when and how outstanding fees may be paid, collected and recovered is set out in the Essential Services Commission's Customer Service Code, Urban Water Businesses.
- If this Statement only sets out rates and fees levied by Parks Victoria and Melbourne Water, the property may not be connected to South East Water's works. To find out whether the property is, or could be connected upon payment of the relevant charges, or whether it is separately metered, telephone 131 694.
- For a new connection to our water or sewer services, fees / charges will be levied.

2. Encumbrance Summary

Where available, the location of sewers is shown on the attached plan. Please ensure where manholes appear, that they remain accessible at all times "DO NOT COVER". Where driveways/paving is proposed to be constructed over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset, the owner will be responsible for all costs associated with any demolition and or re-instatement works, necessary to allow maintenance and or repair of the asset effected. Where changes to the surface levels requires maintenance shafts/holes to be altered, all works must be carried out by South East Water approved contractors only. For information call 131694. For all other works, prior consent is required from south East Water for any construction over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset.

Information available at Melbourne Water indicates that this property is not subject to flooding from Melbourne Water's drainage system, based on a flood level that has a probability of occurrence of 1% in any one year.

The property is situated in an area described by Melbourne Water as having poor surface gradients and it is recommended that Council advice be sought regarding appropriate floor levels for buildings on the property.

ENCUMBRANCE ENQUIRY EMAIL infostatements@sew.com.au

If no plan is attached to this Statement, South East Water is not aware of any works belonging to South East Water being present on the property.

If a plan is attached to this Statement, it indicates the nature of works belonging to South East Water, their approximate location, and the approximate location of any easement relating to those works.

Important Warnings

The map base for any attached plan is not created by South East Water which cannot and does not guarantee the accuracy, adequacy or completeness of any information in the plan, especially the exact location of any of South East Water's works, which may have changes since the attached plan was prepared. Their location should therefore be proven by hand before any works are commenced on the land.

Unless South East Water's prior written approval is obtained, it is an offence to cause any structure to be built or any filling to be placed on a South East Water easement or within 1 metre laterally of any of its works or to permit any structure to be built above or below any such area.

AUTHORISED OFFICER

TERRY SCHUBACH
GENERAL MANAGER
CUSTOMER SERVICE DELIVERY

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198



INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

Any work that requires any South East Water manhole or maintenance shaft to be altered may only be done by a contractor approved by South East Water at the property owner's cost.

If the owner builds or places filling in contravention of that requirement, the owner will be required to pay the cost of any demolition or re-instatement of work that South East Water considers necessary, in order to maintain, repair or replace its asset.

This Statement does not include any information about current or outstanding consent issued for plumbing works on at the property.

3. Disclaimer

This Statement does not contain all the information about the property that a prospective purchaser may wish to know. Accordingly, appropriate enquiries should be made of other sources and information.

South East Water has prepared the information in this Statement with due care and diligence. It cannot and does not accept liability for any loss or damage arising from reliance on the information given, beyond the extent set out in section 155 of the Water Act 1989 and sections 18 and 29 of the Australian Consumer Law.

AUTHORISED OFFICER

A handwritten signature in black ink, appearing to read "Terry Schubach".

TERRY SCHUBACH
GENERAL MANAGER
CUSTOMER SERVICE DELIVERY

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198



ASSET INFORMATION - SEWER & DRAINAGE

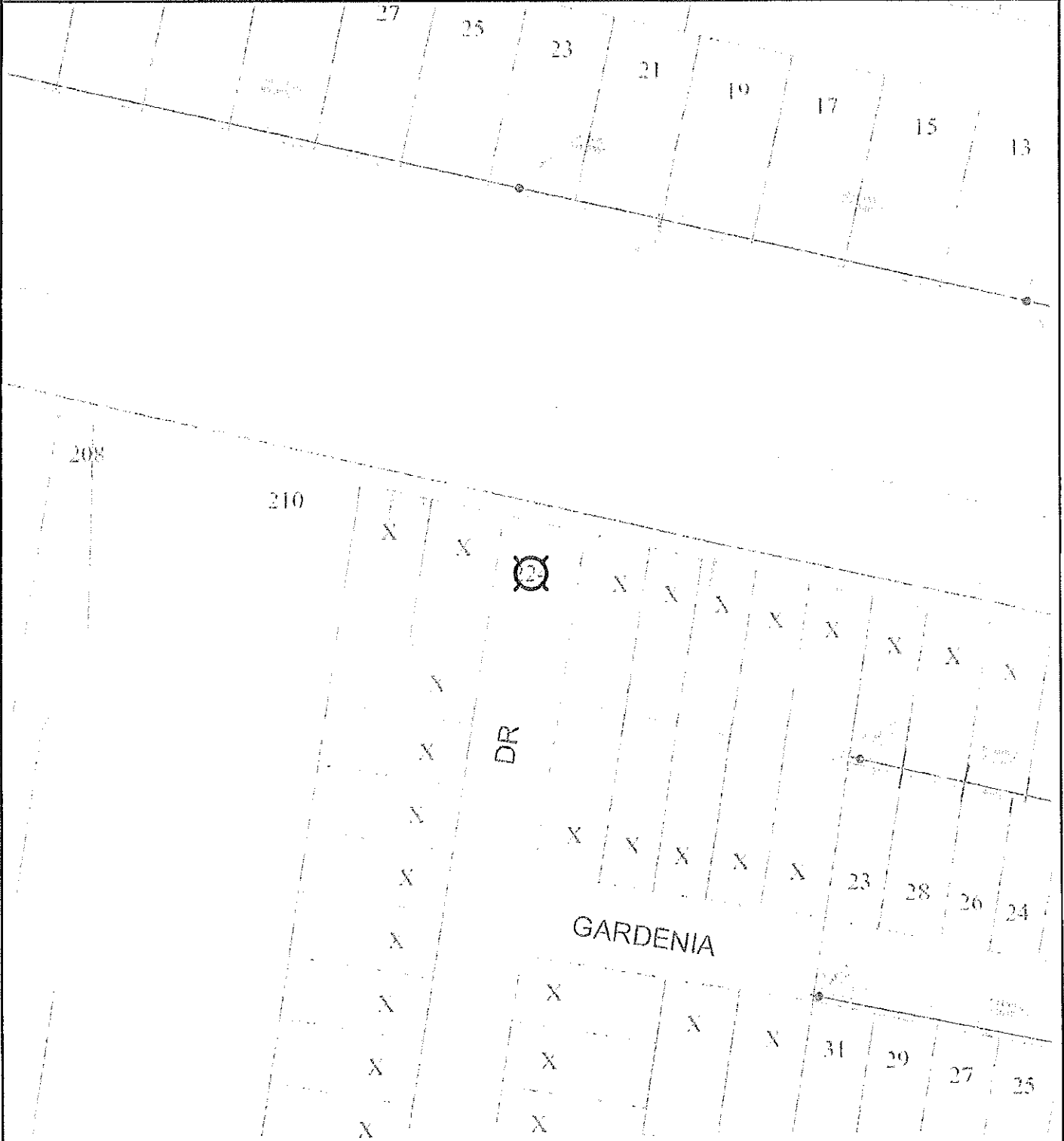
Property: Lot 1 224 KENILWORTH AVENUE BEACONSFIELD 3807



Case Number: 36106741



Date: 06APRIL2020



WARNING: This plan is issued solely for the purpose of assisting you in identifying South East Water's and Melbourne Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details) Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations. Abandoned and currently unused assets are shown in orange

Title/Road Boundary	Subject Property	Maintenance Hole
Proposed Title/Road	Sewer Main & Property Connections	Inspection Shaft
Easement	Direction of Flow	Offset from Boundary
Melbourne Water Assets		
Sewer Main	Underground Drain	Natural Waterway
Maintenance Hole	Channel Drain	Underground Drain M.H.

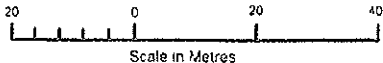


ASSET INFORMATION - WATER

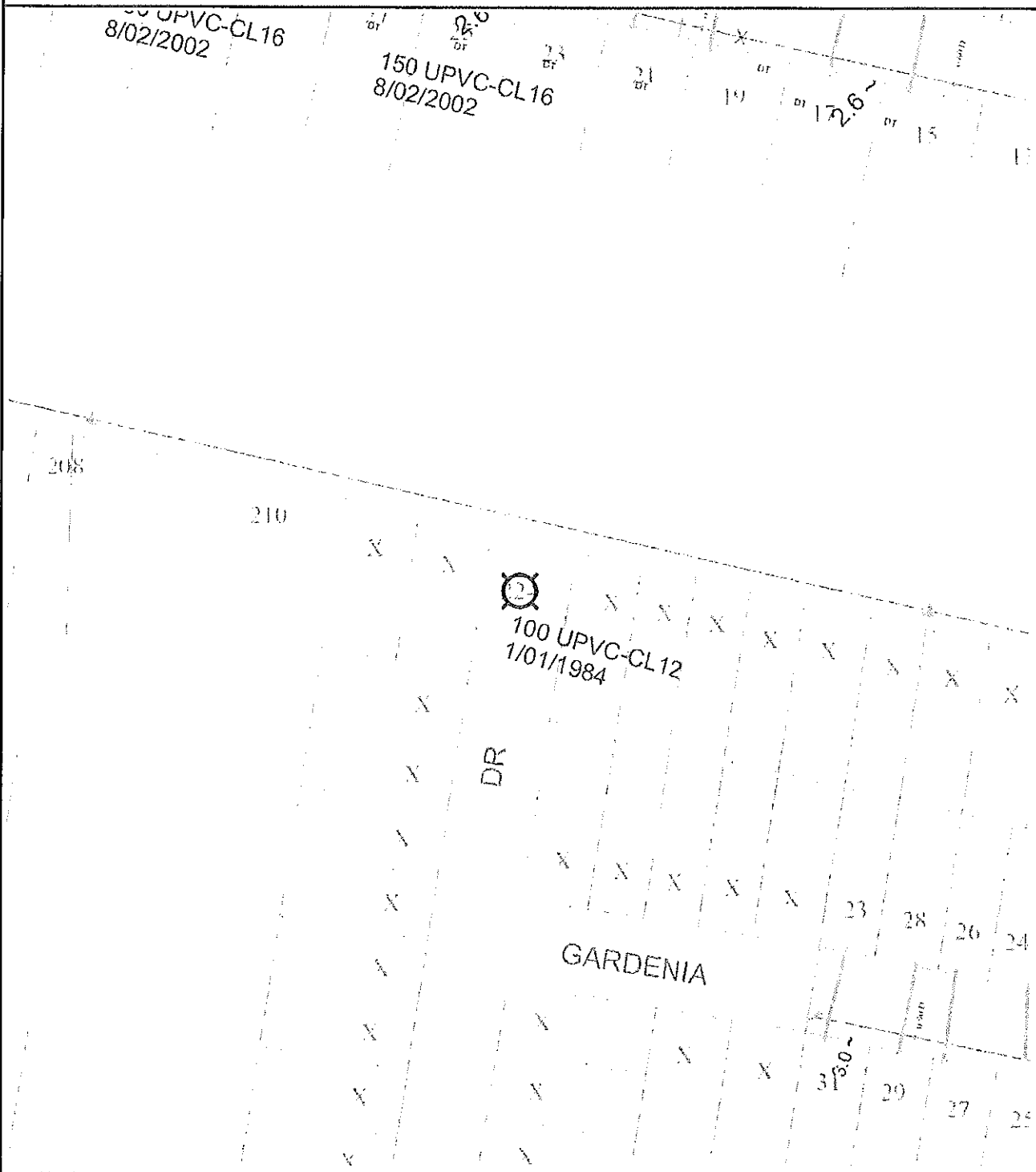


Property: Lot 1 224 KENILWORTH AVENUE BEACONSFIELD 3807

Case Number: 36106741



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LEGEND

	Title/Road Boundary		Subject Property		Hydrant
	Proposed Title/Road		Water Main Valve		Fireplug/Washout
	Easement		Water Main & Services		~ 10 Offset from Boundary



ASSET INFORMATION - RECYCLED WATER

(RECYCLE WATER WILL APPEAR IF IT'S AVAILABLE)

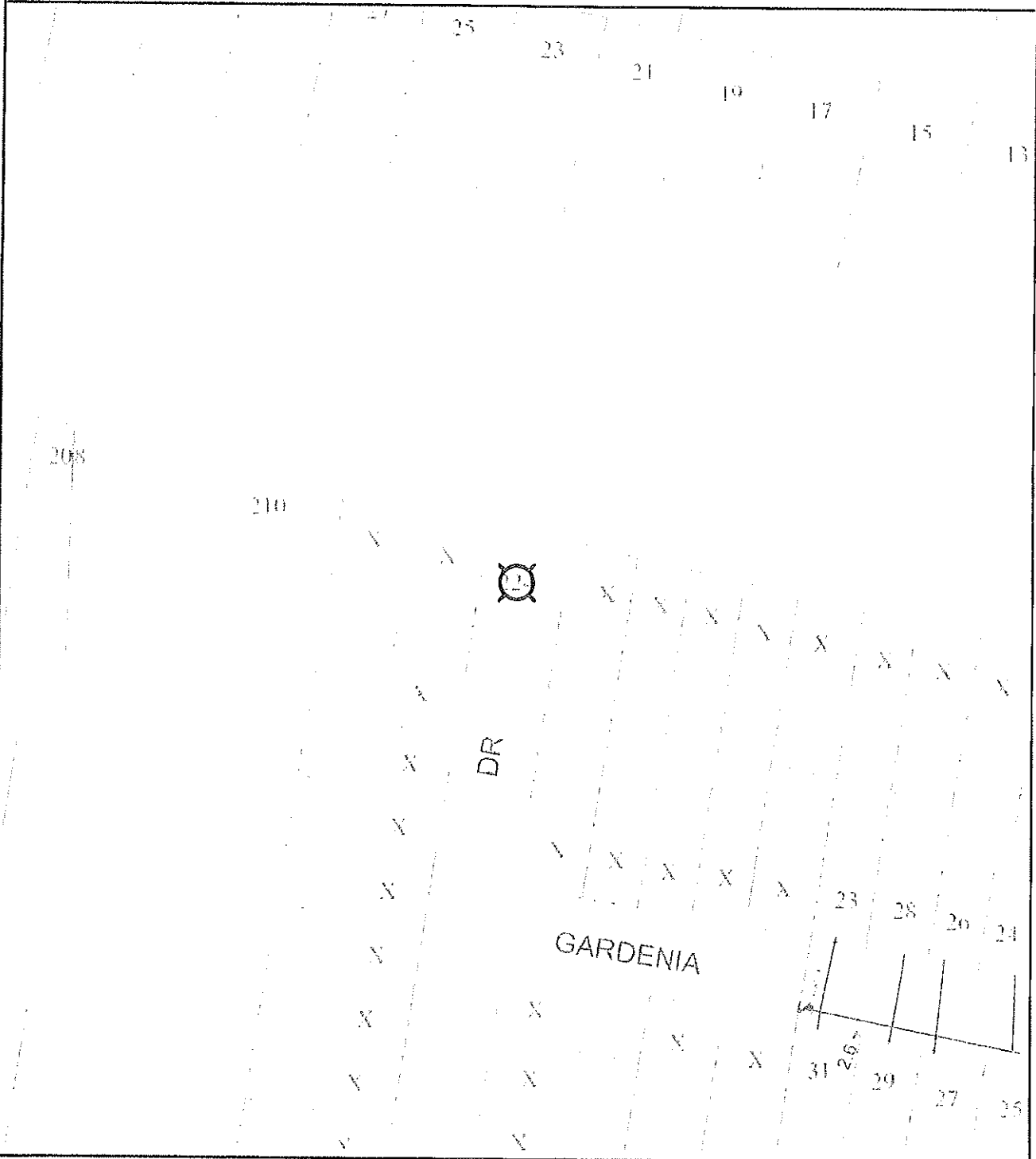
Property: Lot 1 224 KENILWORTH AVENUE BEACONSFIELD 3807



Case Number: 36106741



Date: 06APRIL2020



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LEGEND

	Title/Road Boundary		Subject Property		Hydrant
	Proposed Title/Road		Recycled Water Main Valve		Fireplug/Washout
	Easement		Recycled Water Main & Services		Offset from Boundary



EPA
VICTORIA

Extract of EPA Priority Site Register

Page 1 of 2

**** Delivered by the LANDATASM System, Department of Environment, Land, Water & Planning ****

PROPERTY INQUIRY DETAILS:

STREET ADDRESS: 224 KENILWORTH AVENUE

SUBURB: BEACONSFIELD

MUNICIPALITY: CARDINIA

MAP REFERENCES: Melways 40th Edition, Street Directory, Map 214 Reference C4
Melways 40th Edition, Street Directory, Map 214 Reference B4

DATE OF SEARCH: 4th April 2020

PRIORITY SITES REGISTER REPORT:

A search of the Priority Sites Register for the above map references, corresponding to the address given above, has indicated that this site is not listed on, and is not in the vicinity of a site listed on the Priority Sites Register at the above date.

IMPORTANT INFORMATION ABOUT THE PRIORITY SITES REGISTER:

You should be aware that the Priority Sites Register lists only those sites for which:

- EPA has requirements for active management of land and groundwater contamination; or
- where EPA believes it is in the community interest to be notified of a potential contaminated site and this cannot be communicated by any other legislative means.

Where EPA has requirements for active management of land and/or groundwater, appropriate clean up and management of these sites is an EPA priority, and as such, EPA has issued either a: Clean Up Notice pursuant to section 62A, or a Pollution Abatement Notice (related to land and groundwater) pursuant to section 31A or 31B of the Environment Protection Act 1970 on the occupier of the site to require active management of these sites.

The Priority Sites Register does not list all sites known to be contaminated in Victoria. A site should not be presumed to be free of contamination just because it does not appear on the Priority Sites Register.

Persons intending to enter into property transactions should be aware that many properties may have been contaminated by past land uses and EPA may not be aware of the presence of contamination. EPA has published information advising of potential contaminating land uses. Municipal planning authorities hold information about previous land uses, and it is advisable that such sources of information also be consulted.

For sites listed on the Priority Sites Register, a copy of the relevant Notice, detailing the reasons for issue of the Notice, and management requirements, is available on request from EPA for \$8 per Notice.

For more information relating to the Priority Sites Register, refer to EPA contaminated site information bulletin: Priority Sites Register Contaminated Land Audit Site Listing (EPA Publication 735). For a copy of this publication, copies of relevant Notices, or for more information relating to sites listed on the Priority Sites Register, please contact EPA as given below:

[Extract of Priority Sites Register] # 36558560 - 36558560105501
'Bannir'



Extract of EPA Priority Site Register

**** Delivered by the LANDATA[®] System, Department of Environment, Land, Water & Planning ****

Environment Protection Authority Victoria
GPO Box 4395 Melbourne Victoria 3001
Tel: 1300 372 842

[Extract of Priority Sites Register] # 36558560 - 36558560105501
'Bannir'

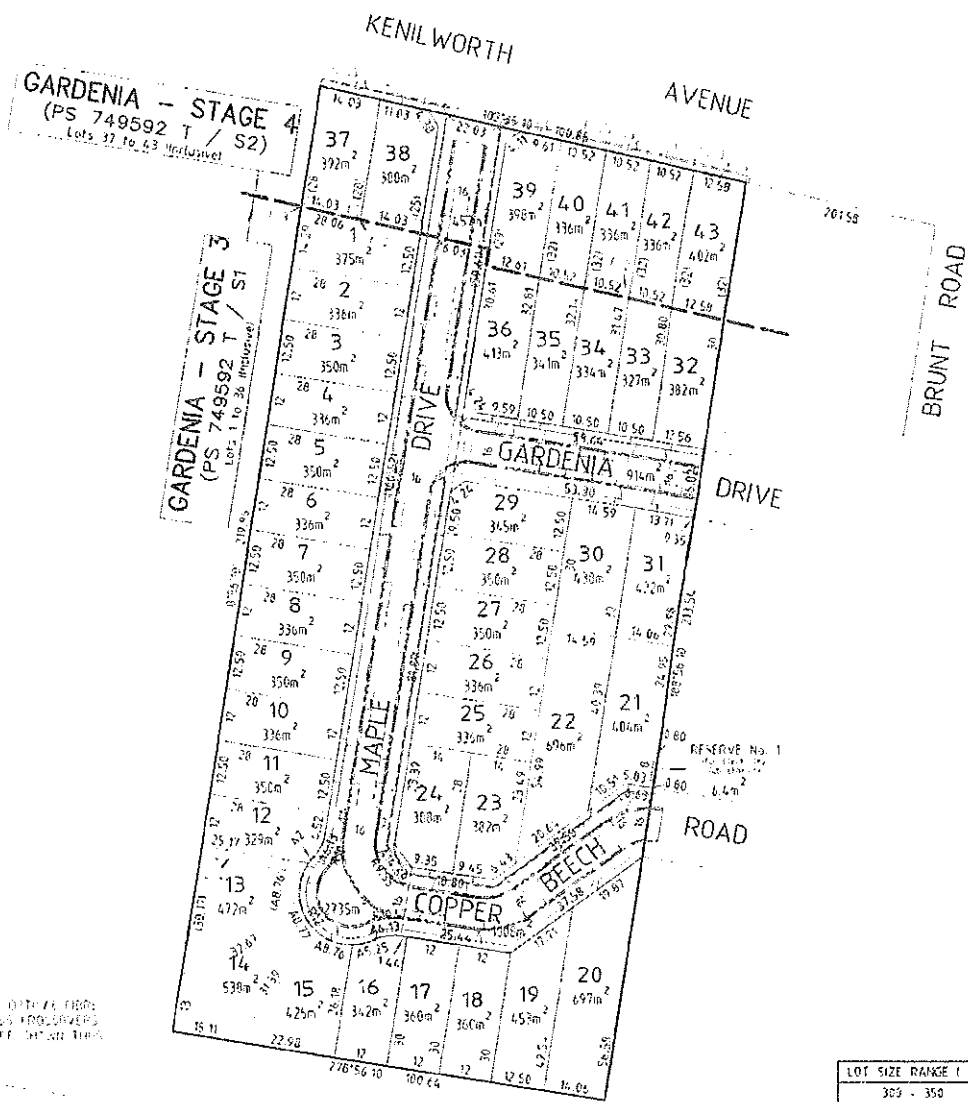
PLAN OF SUBDIVISION FOR
 No. 224 KENILWORTH AVENUE
 BEACONSFIELD
 CROWN ALLOTMENT 31 (Part)
 PARISH OF PAKENHAM

SCALE 1:1000 METRIC
 ORIGINAL SHEET SIZE (A-2)

SURVEY REF 10545
 DATE 27/10/2016

PROPOSED SUBDIVISION OF LOT 31
 BEACONSFIELD PARISH OF PAKENHAM
 THE PLAN OF SUBDIVISION IS AS SHOWN
 ON THE ATTACHED PLANS AND THE
 PROPOSED LOTS ARE AS SHOWN
 ON THE ATTACHED PLANS
 THE PROPOSED LOTS ARE AS SHOWN
 ON THE ATTACHED PLANS

M.G.A. - 94



TELECOMMUNICATIONS OPTICAL FIBRE
 RIGHTS AND ACCESS ROADWAYS
 AND LANE TRAVEL ARE SHOWN THIS



LOT SIZE RANGE (m ²)	NUMBER OF LOTS
309 - 350	22 LOTS
351 - 400	11 LOTS
401 - 450	4 LOTS
451 - 500	3 LOTS
500 +	3 LOTS
TOTAL	43 LOTS

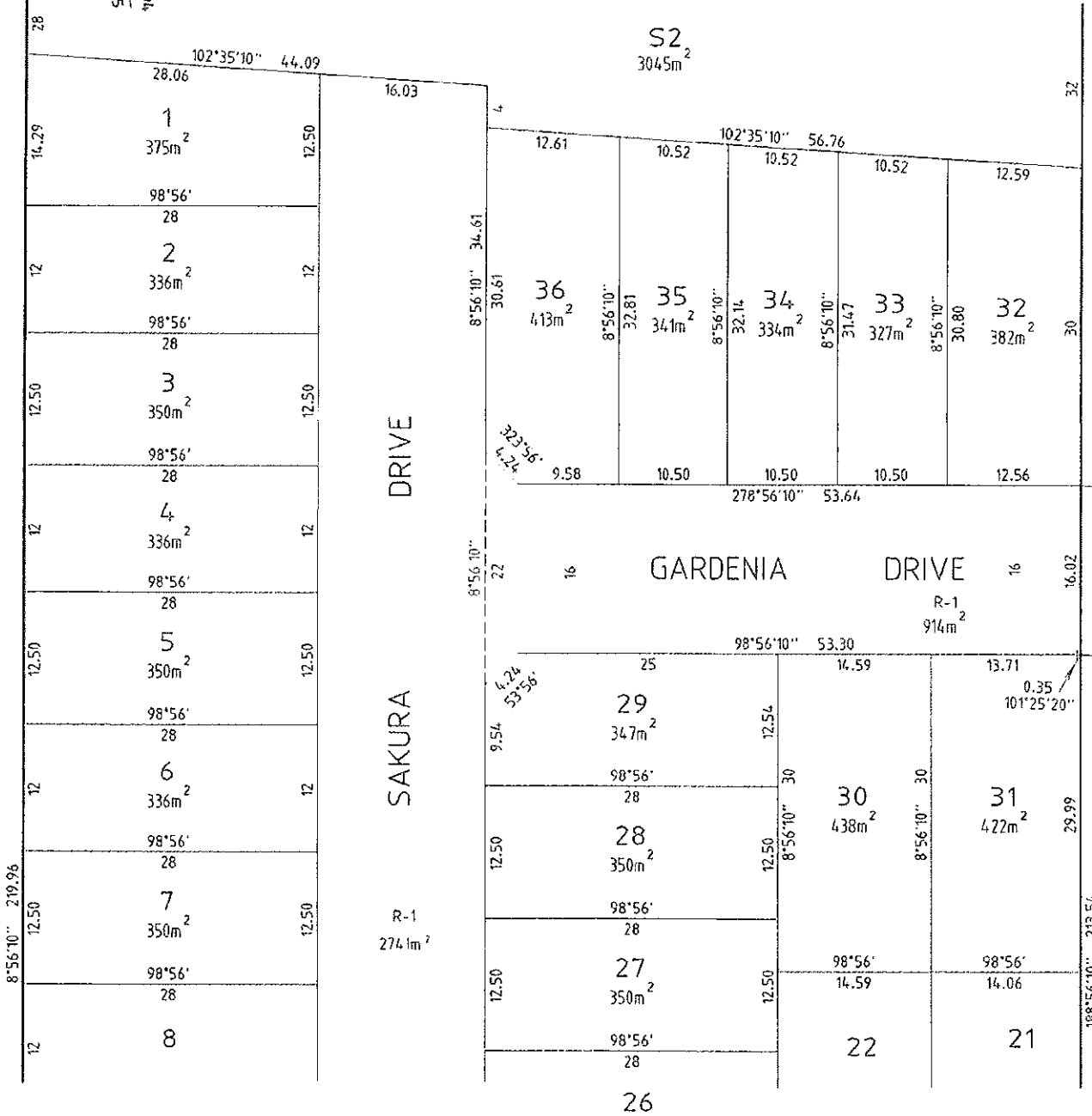
Total Area 2.88ha No of Lots 43
 Lots per Hectare 14.72
 Total Area Roads 510m²

ROONEY AUJARD & ASSOCIATES
 LAND AND SURVEYING
 10/11-13/15 TONGUE ROAD, BEACONSFIELD VIC 3084
 PH: 03 9452 2266

EASEMENT	GRANTOR	WIDTH (metres)	UPON	LAND CERTIFIED IN FAVOR OF
E 1	GRAPVINE	2.0	THIS PLAN	GARDENIA STAGE 3/4/5 8 LOTS ON THIS PLAN
E 2	GRAPVINE	3.0	THIS PLAN	SOUTH EAST WATER CORPORATION 6 LOTS ON THIS PLAN
	CLARENCE			GARDENIA STAGE 3/4/5 8 LOTS ON THIS PLAN
E 3	NEWPAPE	2.0	THIS PLAN	SOUTH EAST WATER CORPORATION 6 LOTS ON THIS PLAN

PLAN OF SUBDIVISION		LRS USE ONLY		PS 749592 T	
LOCATION OF LAND PARISH : PAKENHAM TOWNSHIP : _____ SECTION : _____ CROWN ALLOTMENT : _____ CROWN PORTION : 31 (PH) TITLE REFERENCE : C/T. Vol. 9727 Fol. 747 LAST PLAN REFERENCE : LOT 1 ON TP 13556SH POSTAL ADDRESS : No. 224 KENILWORTH AVENUE <small>(At time of subdivision)</small> BEACONSFIELD, 3807. MGA94 Co-ordinates : E 358 325 ZONE 55 <small>(of approx. centre of land in plan)</small> N 5786 015			COUNCIL NAME : CARDINIA SHIRE COUNCIL		
VESTING OF ROADS AND/OR RESERVES			NOTATIONS		
IDENTIFIER		COUNCIL/BODY/PERSON			
ROAD R-1		CARDINIA SHIRE COUNCIL			
RESERVE No. 1		AUSNET ELECTRICITY SERVICES PTY LTD			
NOTATIONS					
DEPTH LIMITATION Does not apply.					
This is a SPEAR plan.					
Survey This plan is based on survey.					
This survey has been connected to permanent marks no.(s) 20 & 535 in Proclaimed Survey Area No. 71					
STAGING This is a staged subdivision Planning Permit No. T 150659-1					
EASEMENT INFORMATION					
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					
Easement Reference	Purpose	Width (metres)	Origin	Land Benefited/In Favour Of	
E-1	DRAINAGE	2.5	THIS PLAN	CARDINIA SHIRE COUNCIL & LOTS ON THIS PLAN	
RODNEY AUJARD & ASSOCIATES <i>Licensed Land Surveyors</i> Level 1, 325 Camberwell Road, CAMBERWELL, 3124. Ph. 9813 2222 Fax. 9813 2244 aujard@bigpond.net.au		Surveyors Ref. 18545		Original Sheet Size A3	SHEET 1 OF 6
		Geoff. P. Sutherland		Version 5	

M.G.A. - '94
ZONE 55

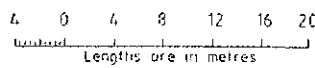


RODNEY AUJARD & ASSOCIATES
Licensed Land Surveyors

Level 1 325 Camberwell Road, CAMBERWELL, 3124.
Ph. 9813 2222 Fax. 9813 2244
aujard@bigpond.net.au

Surveyors Ref. 18545

Scale
1:400



Original Sheet
Size A3

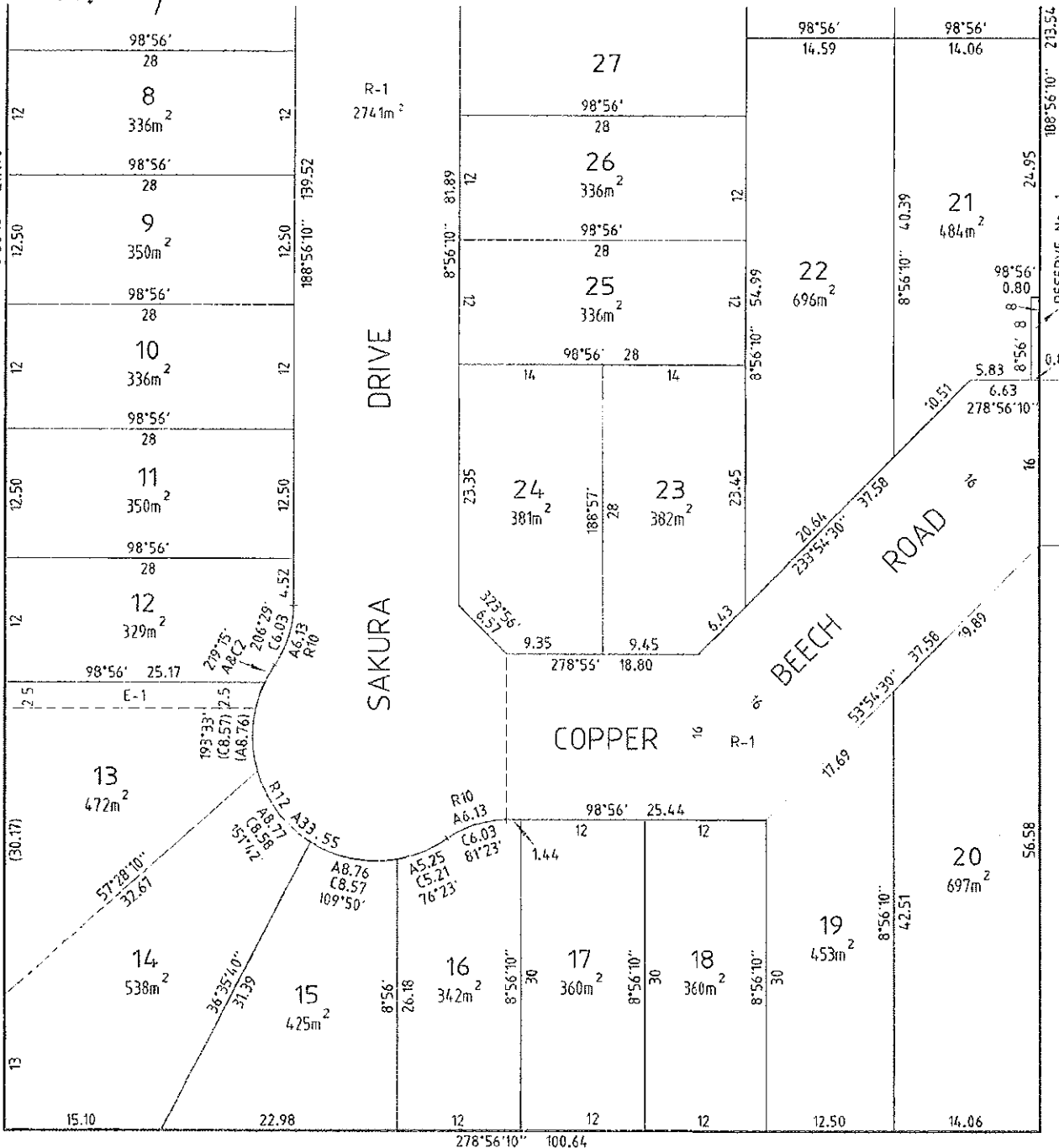
SHEET 3

Licensed Surveyor
Geoff. P. Sutherland

Version 5

M.G.A. - 94
ZONE 55

30 31

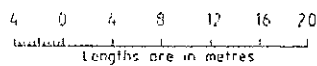


RODNEY AUJARD & ASSOCIATES
Licensed Land Surveyors

Level 1 325 Camberwell Road CAMBERWELL, 3124.
Ph 9813 2222 Fax. 9813 2244
aujard@bigpond.net.au

Surveyors Ref. 18545

Scale
1:400



Original Sheet
Size A3

SHEET 4

Licensed Surveyor
Geoff. P. Sutherland

Version 5

CREATION OF RESTRICTION

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS TO BE CREATED

LAND TO BENEFIT LOTS 1 to 36 ON THIS PLAN

LAND TO BE BURDENED LOTS 1 to 36 ON THIS PLAN

DESCRIPTION OF RESTRICTION

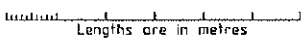
THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF LOTS 1 to 36 ON THIS PLAN SHALL NOT

- (i) BUILD OR ALLOW TO BE BUILT ON THE LAND, ANY DWELLING OUTSIDE THE BUILDING ENVELOPE AS SHOWN IN THE SCHEDULE BELOW.
- (ii) BUILD OR ALLOW TO BE BUILT ANY DWELLING OTHER THAN IN ACCORDANCE WITH THE ENDORSED BUILDING DESIGN GUIDELINES ATTACHED TO PLANNING PERMIT No. T150659-1, ISSUED BY CARDINA SHIRE COUNCIL, OR AS AUTHORISED BY A FURTHER PERMIT.

THIS RESTRICTION WILL EXPIRE 2 YEARS AFTER THE ISSUE OF AN OCCUPANCY PERMIT FOR THE DWELLING ON THE RESPECTIVE LOT.

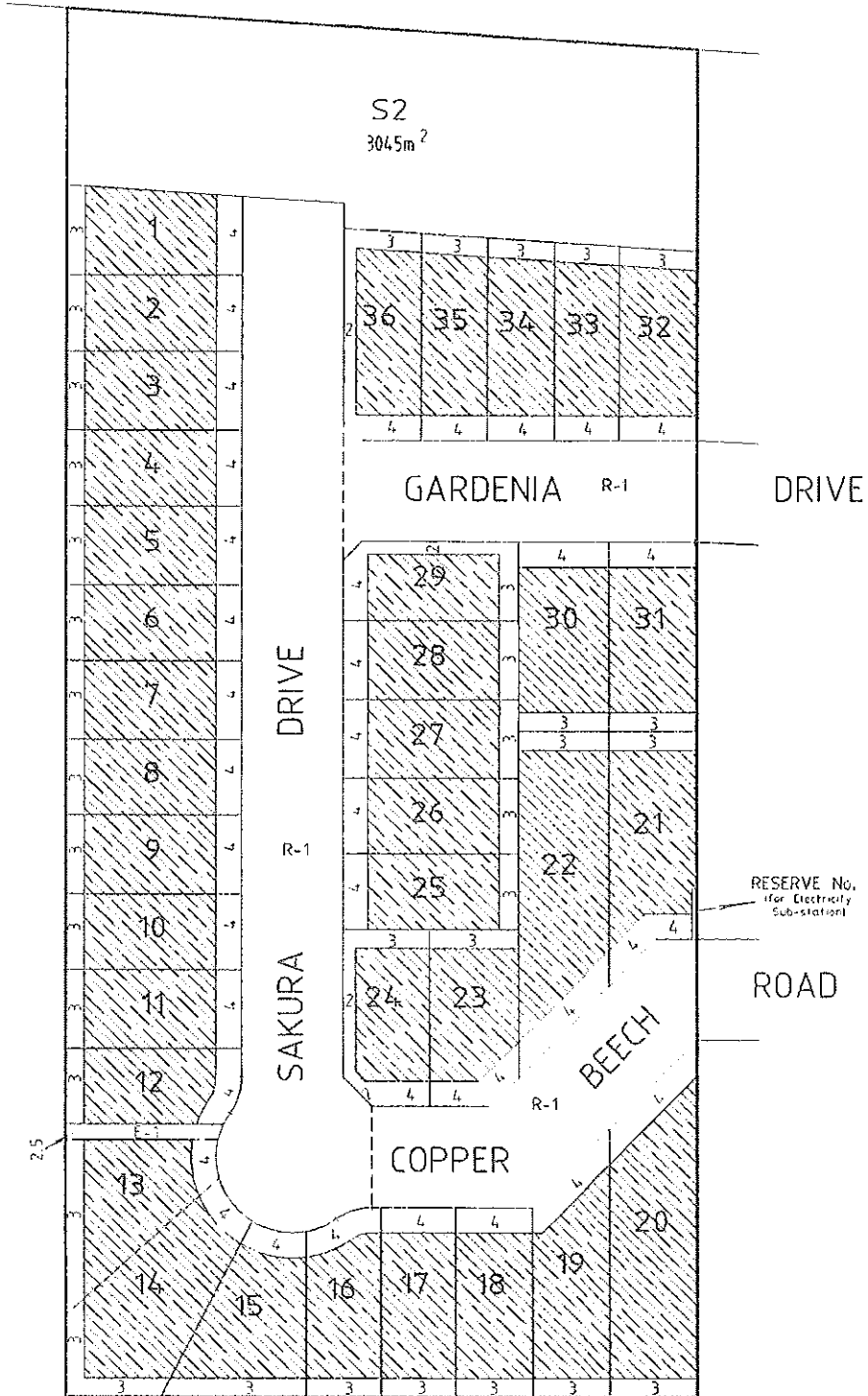
SCHEDULE

See Sheet 6

RODNEY AUJARD & ASSOCIATES <i>Licensed Land Surveyors</i> Level 1, 325 Camberwell Road, CAMBERWELL, 3124. Ph. 9813 2222 Fax. 9813 2244 aujard@bigpond.net.au	Scale	 Lengths are in metres	Original Sheet Size A3	SHEET 5
	Licensed Surveyor Geoff. P. Sutherland Version 5			
Surveyors Ref. 18545				

KENILWORTH AVENUE

M.G.A. - 96
ZONE 55



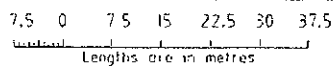
Building Envelope

RODNEY AUJARD & ASSOCIATES
Licensed Land Surveyors

Level 1, 325 Camberwell Road, CAMBERWELL, 3124
Ph 9813 2222 Fax 9813 2244
aujard@bigpond.net.au

Surveyors Ref. 18545

Scale
1:750



Licensed Surveyor
Geoff. P. Sutherland

Version 5

Original Sheet
Size A3

SHEET 6

APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME

Permit No.: T150659 PC4 (Con 10 BDG)

Sheet: 1 of 13

Approved by: Stephen Powell
CARDINIA SHIRE COUNCIL

Date: Wednesday, 4 January 2017

BANIRIAR



hansen

Building Design Guidelines Gardenia Estate – Stages 3 & 4

January 2017

Building Design Guidelines - Gardenia Estate - Stages 3 & 4

BANRIAR



Introduction

This Gardenia Estate will allow for a range of housing styles, responding to the natural features of the land, as well as the surrounding transport network.

The aim of these building design guidelines is to ensure that Gardenia Estate establishes itself as an attractive and welcoming community, exhibiting a high standard of design which consistently addresses its surrounding environs

These Building Design Guidelines set out various requirements which must be met for each dwelling within the estate to ensure the overall quality and amenity of the area.

These Building Design Guidelines cannot be varied without the approval of Cardinia Shire Council.

Additional Controls

Design approval refers only to compliance with the applicable building design guidelines (BDG). It does not refer to and should not be treated as compliance with the laws or regulations of local, state or federal government, statutory authorities or any building codes or standards imposed or administered by them (e.g. town planning controls or Rescode).

The small lot housing code applies to all lots of less than 300 sqm (as applicable). The BDG do not apply to these lots.

An individual building envelope applies to each lot within the estate. The building envelope shows the applicable setbacks which must be achieved and is registered as a restriction on each title.



APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME

Permit No. T150659 PC4 (Con 10 BDG)

Sheet 2 of 13

Approved by: Stephen Powell
CARDINIA SHIRE COUNCIL

Date: Wednesday, 4 January 2017

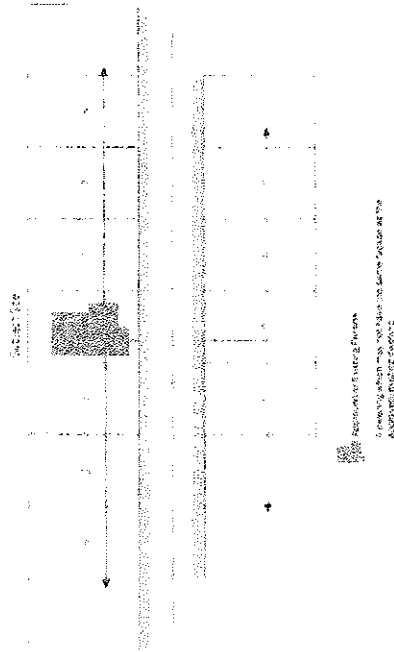
Building Design Guidelines - Gardenia Estate - Stages 3 & 4



Dwelling Design

Two dwellings of the same front façade design shall not be built within 3 dwelling lots of the subject property; this would include lots either side and opposite the subject lot. See diagram below.

Three dwellings of the same façade may not be built within the same street. This includes lots on opposite sides of the street.



Setbacks

All setbacks must be in accordance with the applicable building envelope.

Front Setbacks

Dwellings must be setback a minimum of 4 metres from the front boundary.

Porches, verandas, pergolas, eaves, fascia, gutters, sunblinds, shade sails and decks are permitted to encroach no more than 2.5 metres into setback distances.

Corner Lots

Dwellings constructed on corner lots must be setback a minimum of 2 metres from the side street boundary. The remaining side boundary must be setback as above.

Side Setbacks

Dwellings must be setback at least 3 metres from the rear property boundary. Where a property has a north-facing side boundary and rooms within a dwelling are designed to have a northern orientation and north facing open space, the option exists to reduce the rear boundary setback to 1 metre, where a 3 metre setback is proposed along the northern boundary.

Buildings may be constructed to one side boundary (i.e. zero to 0.15 metre setback) for a length not exceeding 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, and must be set back at least 1 metre from one side boundary.

Porches, verandas, open pergolas, eaves, fascia and gutter, privacy screens, masonry chimneys, sunblinds, shade sails, flues, pipes, decks, domestic fuel tanks, water tanks, heating and cooling equipment and other services may encroach into the aforementioned setback areas by no more than 0.5 metres (unless they interface with north facing windows).

Walls on Boundary

The height of a new wall constructed on or within 0.15 metres of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.

Lots Adjoining Open Space

Dwellings with any frontage to public open space must be setback a minimum of 2 metres from that applicable boundary.

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PLANNING AND ENVIRONMENT ACT 1987 CARDINIA PLANNING SCHEME

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Building Design Guidelines - Gardenia Estate – Stages 3 & 4

BANRIAR



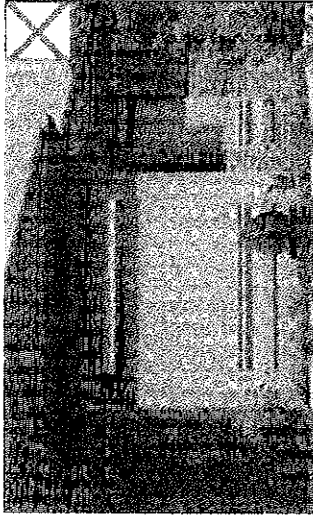
Façades

Façades must include design elements to ensure an identifiable pedestrian entry point and a sense of address to the street.

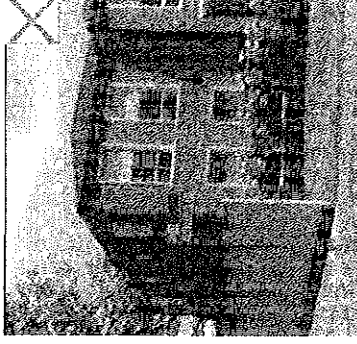
Roller shutters are not permitted for any doors or windows visible from the public realm.

Double storey façades must include architectural features such as balconies, windows and varied materials. Expansive blank walls are not permitted.

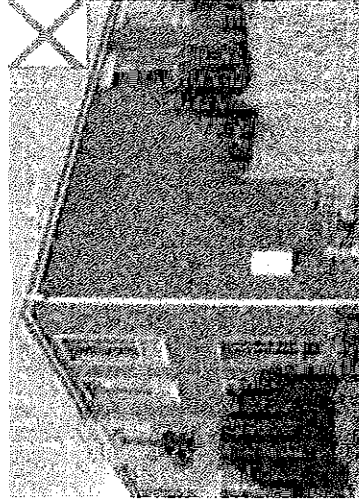
Façades may include materials such as brick, render, timber cladding etc.



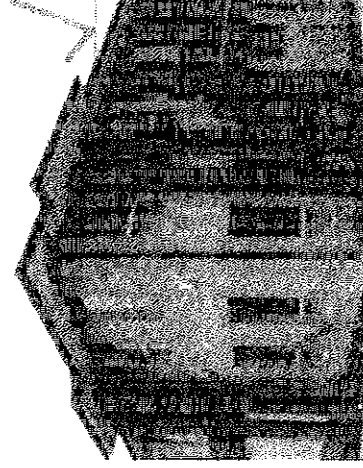
Roller Shutters on Windows



Poor Double Storey Facade Articulation



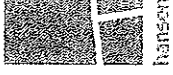
Poor Double Storey Facade Articulation



Good Double Storey Facade Articulation

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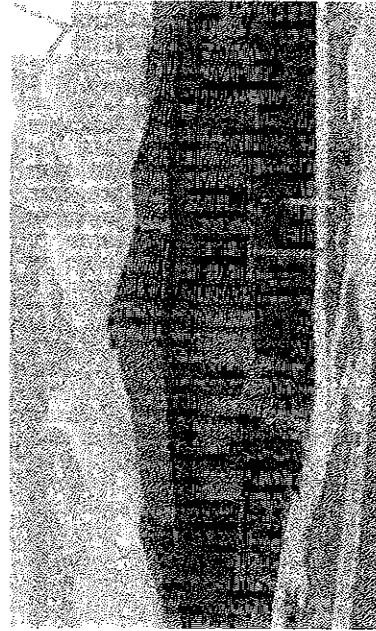
Façades

Corner Lots

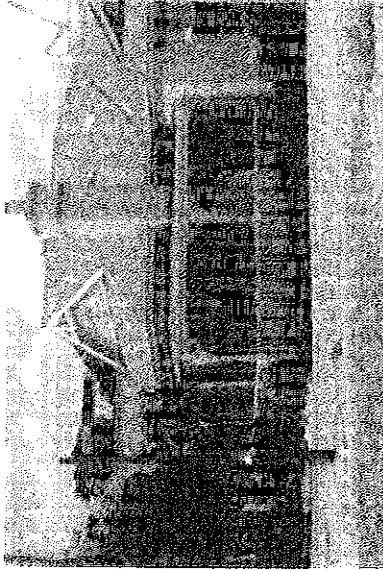
Dwellings constructed on corner lots must be designed to address both street frontages.

Dwellings constructed on corner lots must have a façade which wraps around the second frontage, providing an appropriate corner feature for a minimum of 4m.

Dwellings constructed on corner lots must present at least one habitable room window, forward of the side boundary fence, to each frontage. If the dwelling is double storey at least one habitable room window must be provided at each level.



Dwelling Which Addresses Both Frontages



Facade Which Wraps Around Second Frontage

Lots Fronting Open Space

Dwellings constructed on lots fronting areas of open space must be designed to address the open space.

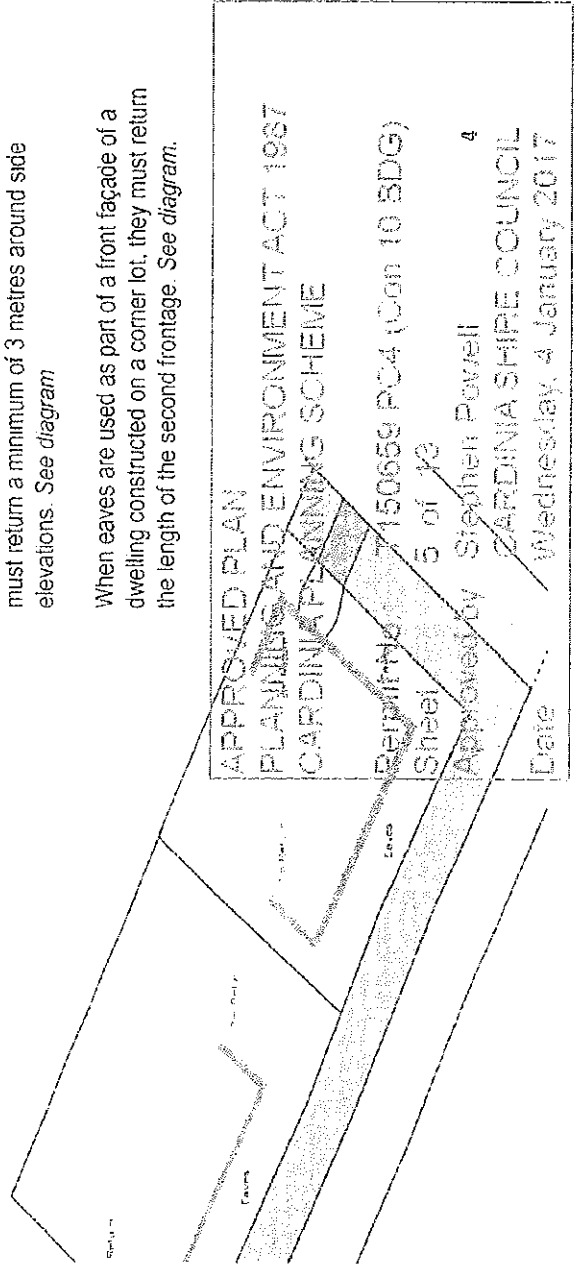
Dwellings constructed on lots fronting areas of open space must provide a pedestrian entry point with access to the open space.

Dwellings constructed on lots fronting areas of open space must present a habitable room window, forward of the side boundary fence, to each frontage. If the dwelling is double storey a habitable room window must be provided at both levels.

Eaves

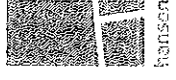
When eaves are used as part of a front façade they must return a minimum of 3 metres around side elevations. See *diagram*

When eaves are used as part of a front façade of a dwelling constructed on a corner lot, they must return the length of the second frontage. See *diagram*.



Building Design Guidelines - Gardenia Estate - Stages 3 & 4

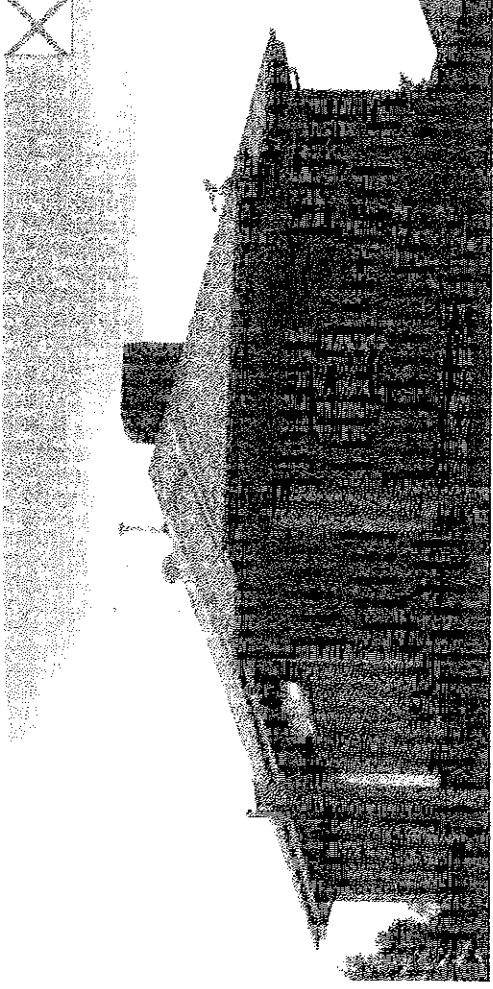
BANRIAR



Roofing

Roofs must be constructed of low reflective materials.
Cement sheeting and zincalume are not to be used in
roof construction

APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME
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Zincalume Roof



Reflective Roof

Building Design Guidelines - Gardenia Estate - Stages 3 & 4



Garages

Garages must be designed not to dominate the streetscape.

Garages are not permitted to have roller doors visible from the public realm.

Raw zincalume and hand painted garage doors not permitted.

Corner Lots

For dwellings constructed on corner lots, garages must be located on or close to a side boundary that adjoins a neighbouring lot. *See Diagram*.

Garage Sizes

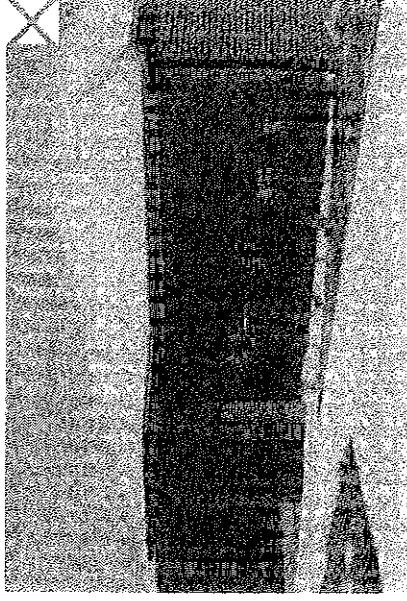
Garage openings must not exceed 40% of the frontage dwelling for single storey dwellings.

Garage openings must not exceed 25% of the area of the front facade of the dwelling which exceed single storey.

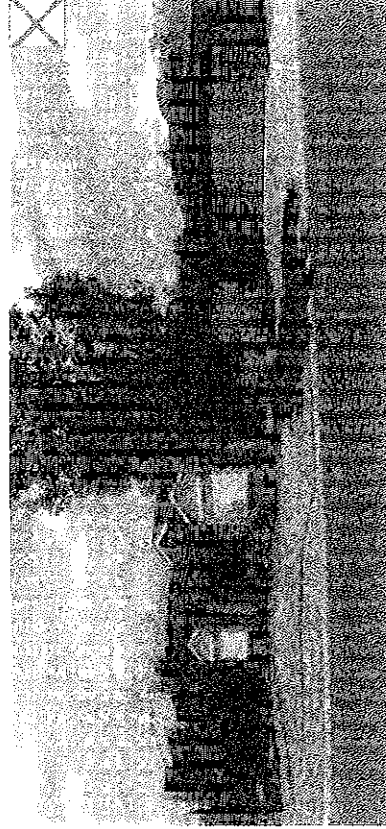
Lots with frontages less than 12.5 metres in width are restricted to single garages when single storey.

Additional Garage Setbacks

Garages must be setback a minimum of 0.5 metres behind the dwelling line.



No Garage Setback



Garage NOT Constructed on Boundary

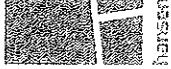
APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
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Building Design Guidelines - Gardenia Estate - Stages 3 & 4



Fencing

Fences must respond to the prevailing neighbourhood character and landscape design, with materials complementing those of the dwelling.

Where fences are to be painted, they are to be of neutral tones.

Front Fences

Front fencing must not exceed 1.2 metres in height and must be at least 40% transparent.

Front fencing must not be constructed on top of a retaining wall.

Side fencing which returns from a front fence along a side boundary:

- Must not exceed 1.2 metres in height
- Must be at least 40% transparent.
- Must continue to a minimum of 2 metres behind the dwelling line.

Side and Rear Fences

All side fences between properties must terminate a minimum of 2 metres behind the dwelling line.

Side and rear fences are not to exceed 2 metres in height and are to comprise timber paling with appropriate capping.

Lots Fronting Open Space

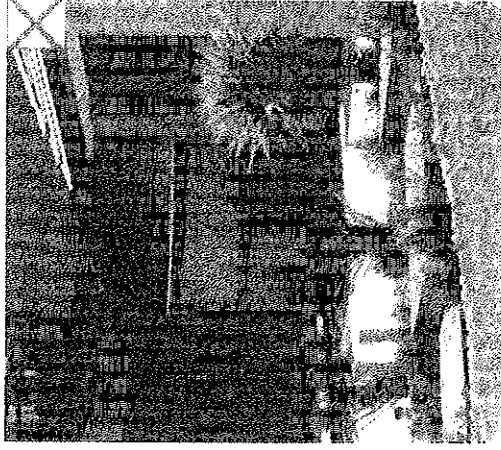
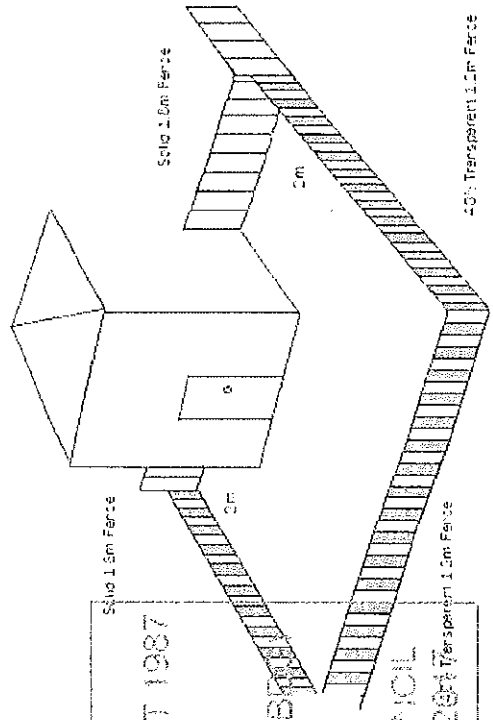
Fencing abutting or overlooking an area of open space may not exceed 50% of the allotment length. The remaining fencing may not exceed 1.2 metres in height and must be a minimum of 40% transparent.

All fencing abutting or overlooking areas of open space within the estate must be consistent.

Lots with Retaining Walls

Side fencing constructed on top of a retaining wall may not exceed 1.5 metres in height.

Fencing visible from the public realm constructed on top of a retaining wall (where the retaining wall exceeds 1 metre in height) must be high quality feature fencing, such as brush fencing



Side Fence Extending Beyond Dwelling

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 PLANNING AND ENVIRONMENT ACT 1987
 CARDINIA PLANNING SCHEME

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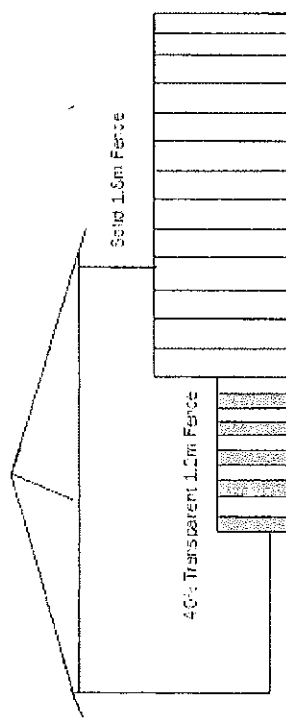


Fencing

Corner Lots

Dwellings constructed on corner lots must be unfenced for a minimum of 4 metres from the front dwelling line. See *diagram*.

Solid fencing on corner lots may not exceed 50% of the lot length from the rear boundary. Remaining fencing may not exceed 1.2 metres in height and must be a minimum of 40% transparent. See *diagram*.



APPROVED PLAN (as amended)
 PLANNING AND ENVIRONMENT ACT 1997
 CARLTON PLANNING SCHEME

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 Date Wednesday 4 January 2017

Landscaping

Landscape design should utilise a range of drought resistant species where possible, and must include at least 1 canopy tree within the front setback.

A minimum 20 per cent of the property must remain free of impervious surfaces

All landscape elements within the front yard, including driveways and pathways must be completed within 3 months of obtaining a Certificate of Occupancy.

Utilities & Services

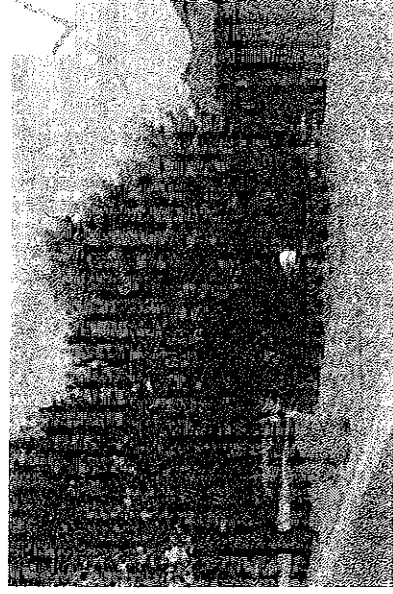
Utilities and services must not be visible from the public realm.

Solar Panels

Solar panels must be located for maximum efficiency.

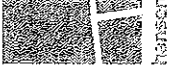
Recycled water

All buildings must incorporate plumbing for recycled water supply for toilet flushing and garden watering use to allow for future connections should it become available.



Canopy Tree within Front Setback

Building Design Guidelines - Gardenia Estate – Stages 3 & 4



Driveways

Driveways must be fully constructed prior to a certificate of occupancy being obtained.

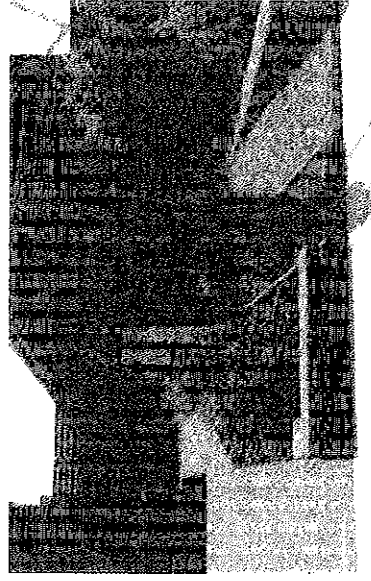
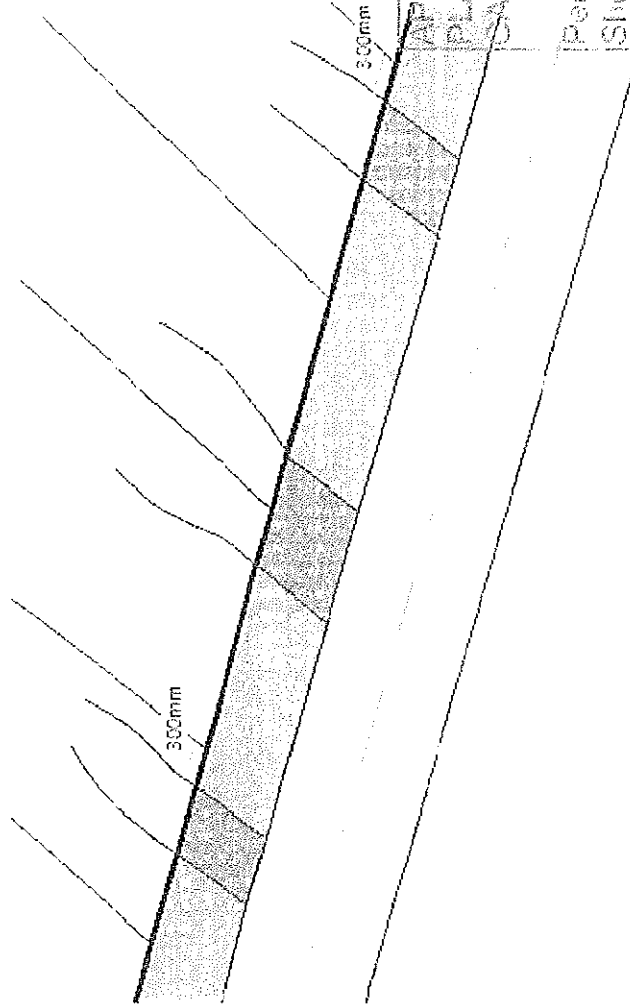
Landscaping Strip

A minimum allowance of 300mm for garden planting is required between a driveway and a side boundary. This does not apply when a crossover is constructed as part of a double-crossover with an adjoining lot. Landscaping strips are not permitted between double crossovers. See diagram

Only one crossover is permitted for each lot.

Driveway widths must match the width of the crossovers but may taper thereafter to align with garage widths.

Gravel and uncoloured concrete driveways are not permitted.



APPROVED ~~Plan~~wayway Garden Planting Strip
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME

Permit No: Y150659 PC4 (Con 10 BDG)

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Building Design Guidelines - Gardenia Estate – Stages 3 & 4

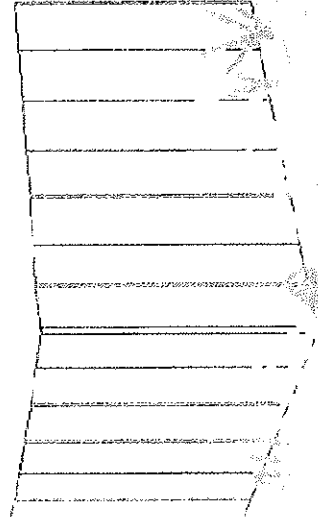


Retaining Walls

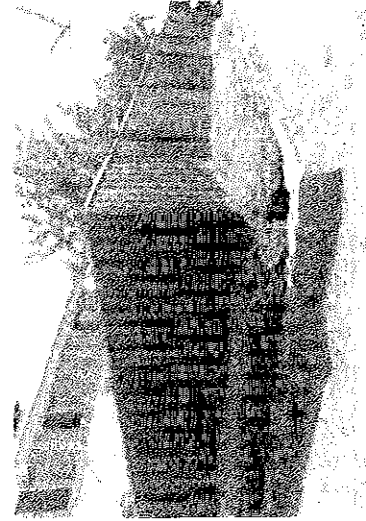
- Retaining walls visible from the public realm must not exceed 1.2 metres in height
- Fencing constructed on top of a retaining wall visible from the public realm, must be setback a minimum of 450mm from the inner edge of that retaining wall. This setback must be suitably landscaped and maintained. See *diagram*.
- Retaining walls visible from the public realm must be constructed from suitable materials.
- Unpainted timber panels/boards are not permitted unless they are of a high architectural quality such as recycled sleepers.
- Unfinished concrete walls/blocks are prohibited.

APPROVED PLAN
 PLANNING AND ENVIRONMENT ACT 1987
 CAPRICIA PLANNING SCHEME

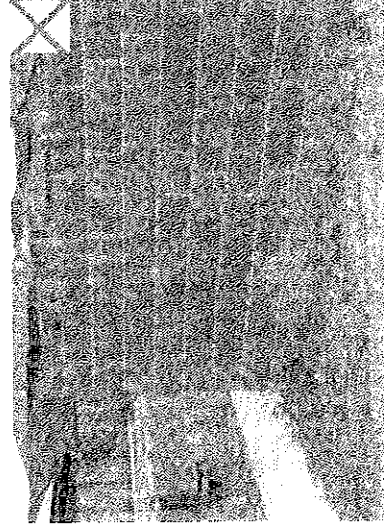
Project No: T150659 PC4 Con 10 BCG
 Sheet: 11 of 10
 Approved by: Stephen Powell
 450mm Fencing
 CAPRICIA SHIRE COUNCIL
 Date: Wednesday 4 January 2017



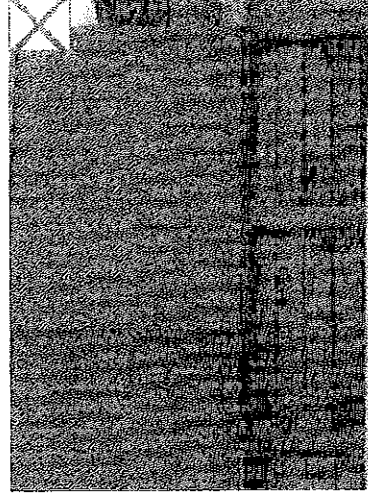
REFERENCE MAP
 10/15/17/10



Landscaped Retaining Wall Setback



Unfinished Concrete Retaining Wall



Unfinished Timber Retaining Wall

Building Design Guidelines - Gardenia Estate

APPROVED PLAN

Stages 3 & 4 ENVIRONMENTAL SOUNDING SCHEME



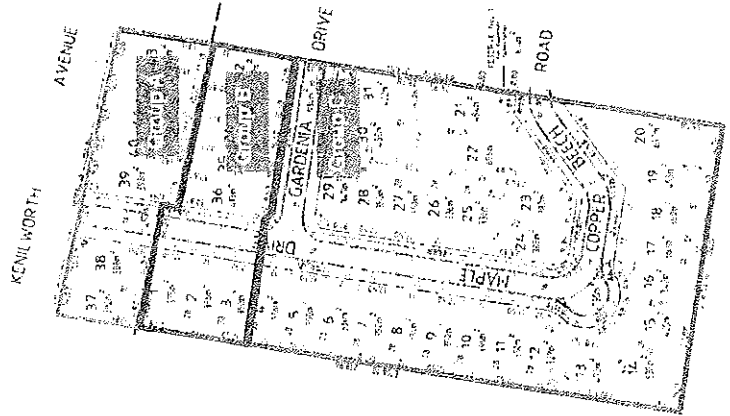
Permit No T150659 PC4 (Con 10 Bldg)
 Sheet 12 of 13
 Approved by Stephen Powell

Acoustic requirements

Due to their proximity to the Pakenham Railway reserve, all dwellings must be designed so as to reduce noise levels in living areas.

Dwellings on the above properties will need to include glazing for habitable rooms (bedrooms and living rooms including kitchens) that are facing to the north, east and west as per this table.

The Groups described in the table are shown in the figure below.



Typical Room	Glazing Type	Area (m²)	Rw (dB)
Group A			
<i>North, east and west facing windows</i>			
Bed	10.33 mm laminated glass	<3m²	34 (-2) = 32 dB
Bed	12.76 mm laminated glass OR 6 mm / 12 mm air cavity / 10.33 mm laminated (6/12/10.33 IGU)	3-5m²	36 (-3) = 33 dB 39 (-5) = 34 dB
Living	Not less than 6 mm thick float glass or IGU including 5 mm float	<10m²	
Living	6.38 mm laminated glass OR 6 mm / 12 mm air cavity / 6.38 mm laminated glass (6/12/6.38 IGU)	>10m²	32 (-2) = 30 dB 36 (-5) = 31 dB
South facing			
Bed	6.38 mm laminated glass or 6 mm / 12 mm air cavity / 6.38 mm laminated glass (6/12/6.38 IGU)	<3m²	32 (-2) = 30 dB
Bed	10.33 mm laminated glass OR 5 mm / 12 mm air cavity / 6.38 mm laminated glass (6/12/6.38 IGU)	3-6m²	34 (-2) = 32 dB 36 (-5) = 31 dB
Group B			
<i>North, east and west facing windows</i>			
Bed	6.38 mm laminated glass OR 6 mm / 12 mm air cavity / 6.38 mm laminated glass (6/12/6.38 IGU)	<4m²	32 (-2) = 30 dB 36 (-5) = 31 dB

Type of Room	Typical Area (m²)	Glazing Type	Rw (dB)
Living	<12m²	Not less than 5 mm thick single glazing or any IGU	
Living	>12m²	6.38 mm laminated glass OR 6 mm / 12 mm air cavity / 6 mm laminated glass (6/12/6.38 IGU)	32 (-2) = 30 dB 36 (-5) = 31 dB
South facing windows			
Bed	<4m²	Not less than 5 mm thick single glazing or any IGU	
All windows			
Non-habitable rooms		To Code (not less than 4mm)	
Group C			
All rooms		To Code (not less than 4mm)	

* Exceedances of up to 4 dBA are predicted for train horns in some instances. The average horn level will, however, meet the project criteria.

These recommendations relate to the specific area of glazing nominated. If larger areas are proposed, this will need to be revised. If alternative glazing types are desired, then the glazing type selected shall have equivalent (or greater) Rw and Rw +Cirr ratings

Other blocks in the development (Group C) will be shielded by the first few rows of houses and will not require treatment. The glazing in this area should be to Code.

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Date: CARDINIA SHIRE COUNCIL
Estimated rating: $R_w+Ctr=44$ dB
Wednesday, 4 January 2017

Acoustic requirements

Additional Glazing Requirements

- The following principles shall apply to all acoustically upgraded windows
- Frames for windows shall have a wall thickness such that there is no significant degradation in the acoustic isolation of the window, and in any case shall be not less than 2 mm
 - Awning windows should be used and shall have two sets of compression seals. One on the window frame, and one on the external angle. Sufficient closures shall be fitted to ensure a good seal
 - Doors are to be hinged doors and fitted to all four edges of the door and/or frame.
 - Approved seals for doors include Raven RP24, or RP10 frame seal, and Raven RP38 bottom seal. Ensure handle does not interfere with seals; long back set may be required
 - Laminate where specified is to be not less than 0.38 mm thick.
 - Where frames or sections of frames interlock or butt together, they shall include an approved seal or sealant
 - Any window or door frame which bows or any seals showing even small gaps or noticeable sound leakage shall be rectified

Floor coverings

The glazing advice provided in this report assumes hard floors to living rooms and carpet to bedrooms. If bedrooms are not carpeted, the glazing advice provided in this report should be reviewed

Wall and roof construction

Wall constructions for the Groups A are to achieve a minimum $R_w + Ctr$ rating of 47 dB. Suitable wall constructions include:

Walls

Masonry

- Brick or concrete block, not less than 170 kg/m²
- 10-15 mm gap to studwork
- Insulation to cavity, not less than 90 mm thick, (4 kg/m²)
- Timber or steel stud not less than 75 mm thick
- 1 X 13 mm standard plasterboard

Estimated wall rating: $R_w+Ctr=50$ dB

Cement Sheet Lightweight Type

Recommended minimum suitable construction rating $R_w+Ctr=47$ dB

- 1 X 9 mm cement sheet
- Staggered steel or staggered timber stud in 150 mm track, or single 120 mm timber stud with resilient isolation clip / mount to room side
- Insulation to cavity, not less than 100 mm thick, 20 kg/m²
- 2 X 16 mm fire-rated plasterboard

Estimated wall rating $R_w+Ctr=47$ dB

Any south facing wall in Group A, and the entirety of group B can have 1 layer of the 16 mm fire-rated plasterboard eliminated (i.e. only 1 layer required). The required minimum wall rating for Group B is $R_w+Ctr=43$ dB

Roof

Roof constructions for Group A and B are to achieve a minimum $R_w + Ctr$ rating of 44 dB. Suitable roof constructions include:

- 0.42 mm Corrugated Steel
- 0.2 mm Vapour Barrier as required
- Not less than 190 mm ceiling joists
- Ceiling acoustic isolation mount / clip
- 200 mm thick insulation, not less than 20 kg/m²
- 2 X 16 mm fire-rated plasterboard ceiling fixed to furring channels / acoustic clip

Any room with only south facing windows can have 2 layers of 13 mm thick fire rated plasterboard to ceiling in lieu of the 2x16 mm fire-rated plasterboard.

Estimated rating: $R_w+Ctr=40$ dB

Ventilation

All penetrations through acoustically upgraded walls and roofs are to be treated to ensure that they do not compromise the acoustic rating of the partition. This requirement applies to air vents and evaporative coolers.

All acoustic requirements have been translated from the SLR Consulting Australia Pty Ltd Rail Noise and Vibration Planning Assessment, 9 April 2013

